



EST. 1955

**SPRING VALLEY**

V I L L A G E

**Board of Adjustment Meeting**

**November 16, 2022**

**6:00 p.m.**



**SPRING VALLEY**  
VILLAGE

**AGENDA**

**City of Spring Valley Village  
Board of Adjustment Meeting  
Council Chambers of City Hall  
1025 Campbell Road, Houston, Texas 77055  
WEDNESDAY, NOVEMBER 16, 2022 AT 6:00 P.M.**

The meeting agenda and agenda packet are posted online at [www.springvalleytx.com](http://www.springvalleytx.com).

The video link to this meeting is <https://us02web.zoom.us/j/83895515463>

The public toll-free dial-in numbers to participate in the telephonic meeting are 1-346-248-7799 (Houston), 1-253-215-8782 (US), and 1-301-715-8592 (US); enter the Meeting ID: 838 9551 5463 and #.

The public will be permitted to offer public comments telephonically as provided by the agenda and as permitted by the presiding officer during the meeting.

A recording of the telephonic meeting will be made and will be available to the public in accordance with the Open Meetings Act upon written request.

- 1. CALL THE ROLL AND ANNOUNCE A QUORUM IS PRESENT**
- 2. APPROVAL OF MEETING MINUTES:** September 21, 2022 Meeting
- 3. CONDUCT A PUBLIC HEARING CONCERNING:** A Request from Adam Noyes for a variance from Chapter 12 of the City of Spring Valley Village's Code of Ordinances, Planning and Zoning, Subsection 05:02.03.09.03, Side Building Line Setback, of Section 5, Building and Use Restrictions in Dwelling District "A", to allow a new garage and second story to be located at 2.9 Feet from the Side Property Line, Instead of the Required 8 Feet, for the Property Located at 8316 Winningham Lane, in the City of Spring Valley Village, Texas.
  - A. Presentation of Variance Request by Applicant
  - B. Those In Favor
  - C. Those Opposed
  - D. Adjourn Public Hearing
- 4. CONSIDERATION AND POSSIBLE ACTION CONCERNING:** A Request from Adam Noyes for a variance from Chapter 12 of the City of Spring Valley Village's Code of Ordinances, Planning and Zoning, Subsection 05:02.03.09.03, Side Building Line Setback, of Section 5, Building and Use Restrictions in Dwelling District "A", to allow a

new garage and second story to be located at 2.9 Feet from the Side Property Line, Instead of the Required 8 Feet, for the Property Located at 8316 Winningham Lane, in the City of Spring Valley Village, Texas.

5. **CONDUCT A PUBLIC HEARING CONCERNING:** A Request from Adam Noyes for a variance from Chapter 12 of the City of Spring Valley Village's Code of Ordinances, Planning and Zoning, Subsection 05:02.03.09.04, Rear Building Line Setback, of Section 5, Building and Use Restrictions in Dwelling District "A", to allow a new second story to be 23.6 Feet from the Rear Property Line, Instead of the Required 25 Feet, for the Property Located at 8316 Winningham Lane, in the City of Spring Valley Village, Texas.
  - A. Presentation of Variance Request by Applicant
  - B. Those In Favor
  - C. Those Opposed
  - D. Adjourn Public Hearing
  
6. **CONSIDERATION AND POSSIBLE ACTION CONCERNING:** A Request from Adam Noyes for a variance from Chapter 12 of the City of Spring Valley Village's Code of Ordinances, Planning and Zoning, Subsection 05:02.03.09.04, Rear Building Line Setback, of Section 5, Building and Use Restrictions in Dwelling District "A", to allow a new second story to be 23.6 Feet from the Rear Property Line, Instead of the Required 25 Feet, for the Property Located at 8316 Winningham Lane, in the City of Spring Valley Village, Texas.
  
7. **CONDUCT A PUBLIC HEARING CONCERNING:** A Request from Christopher Brian Craft for a variance from Chapter 12 of the City of Spring Valley Village's Code of Ordinances, Planning and Zoning, Subsection 11:01.05, Permitted Locations, of Section 11, Supplemental District Regulations, to allow the construction of an 8 Foot Fence along the Front Property Line, for the Property Located at 1214 Campbell Road, in the City of Spring Valley Village, Texas.
  - A. Presentation of Variance Request by Applicant
  - B. Those In Favor
  - C. Those Opposed
  - D. Adjourn Public Hearing
  
8. **CONSIDERATION AND POSSIBLE ACTION CONCERNING:** A Request from Christopher Brian Craft for a variance from Chapter 12 of the City of Spring Valley Village's Code of Ordinances, Planning and Zoning, Subsection 11:01.05, Permitted Locations, of Section 11, Supplemental District Regulations, to allow the construction of an 8 Foot Fence along the Front Property Line, for the Property Located at 1214 Campbell Road, in the City of Spring Valley Village, Texas.

**9. ADJOURNMENT**

I certify that a copy of the November 16, 2022 Board of Adjustment agenda was posted this day, the 9<sup>th</sup> day of November 2022 at 4:00 p.m. pursuant to the Open Meetings Act, Chapter 551 of the Texas Government Code.

Attest:

  
\_\_\_\_\_  
Jasmin Torres, City Secretary

The Board of Adjustments reserves the right to convene in executive session from time to time as deemed necessary during this meeting to discuss any of the matters listed in the agenda.

In compliance with the Americans with Disabilities Act, this facility is wheelchair-accessible and accessible parking spaces are available. To better serve attendees, requests for accommodations or interpretive services should be made 48 hours prior to this meeting. Please contact the City Secretary's office at 713-465-8308, or Email [jtorres@springvalleytx.com](mailto:jtorres@springvalleytx.com) for further information.

# Minutes

**MINUTES OF THE BOARD OF ADJUSTMENT MEETING  
CITY OF SPRING VALLEY VILLAGE, TEXAS  
WEDNESDAY, SEPTEMBER 21, 2022 AT 6:00 P.M.  
IN THE COUNCIL CHAMBERS OF CITY HALL  
1025 CAMPBELL ROAD, HOUSTON, TEXAS**

**1. CALL THE ROLL AND ANNOUNCE A QUORUM IS PRESENT**

With a quorum of the Board present, the Meeting of the Spring Valley Village Board of Adjustments was called to order by Development Services Coordinator Carianne Livengood at 6:00 p.m.

Members Present:

Acting Chairman Bradley Jones  
Board Member Cameron Kreager  
Alternate Board Member Susan Diehl  
Alternate Board Member Douglas Potts  
Alternate Board Member Travis Wells

Also present were:

City Attorney Loren Smith  
Director of Community Development Zachary Meadows  
Development Services Coordinator Carianne Livengood

**2. APPROVAL OF MEETING MINUTES: August 17, 2022 Meeting**

Acting Chairman Jones made a motion to approve the August 17, 2022 meeting minutes, and Board Member Kreager seconded the motion. Motion carried 5-0.

**3. CONDUCT A PUBLIC HEARING CONCERNING:** A request from Blane Vincent for a variance from Chapter 12 of the City of Spring Valley Village’s Code of Ordinances, Planning and Zoning, Subsection 05:02.01.04, Building and Use Restrictions, in Dwelling District “A”, to allow an enclosure of an existing porte-cochere which is already attached to a garage for the property located at 8906 Cardwell Lane, in the City of Spring Valley Village, Texas.

Acting Chairman Jones opened the Public Hearing at 6:01.

**A. Presentation of Variance Request by Applicant**

Director of Community Development, Zachary Meadows, explained the details of the request. The variance would involve allowing the garage to encroach into the 5-foot setback from the building foundation required for front-facing garages.

Blane Vincent, homeowner at 8906 Cardwell Lane, spoke regarding his request. He detailed the need for a larger enclosed space to park his truck in order to protect it from theft, as the truck does not fit in the existing structure. The catalytic converter theft issues in Houston were mentioned as evidence of the need to be able to park his truck somewhere other than the street.

**B. Those In Favor**

None.

**C. Those Opposed**

None.

**D. Adjourn Public Hearing**

Acting Chairman Jones closed the public hearing at 6:06 p.m.

- 4. CONSIDERATION AND POSSIBLE ACTION CONCERNING:** A request from Blane Vincent for a variance from Chapter 12 of the City of Spring Valley Village’s Code of Ordinances, Planning and Zoning, Subsection 05:02.01.04, Building and Use Restrictions, in Dwelling District “A”, to allow an enclosure of an existing porte-cochere which is already attached to a garage for the property located at 8906 Cardwell Lane, in the City of Spring Valley Village, Texas.

Alternate Board Member Diehl made a motion to approve the variance request as presented. Acting Chairman Jones seconded the motion.

Acting Chairman Jones mentioned that the BOA grants variances for unnecessary hardships and asked what about Mr. Vincent’s situation made it a hardship. Mr. Vincent reiterated the expense and inconvenience of vehicle thefts such as catalytic converters. Board Member Kreager spoke about the reliability of local police and the lack of evidence of catalytic converter thefts in Spring Valley Village. Director of Community Development Meadows confirmed that the Police Chief had mentioned catalytic converter theft in Commercial areas but had not heard the Police Chief mention residential catalytic converter theft. Alternate Board Member Diehl asked for clarification on how big the extension would be, and Acting Chairman Jones asked whether they would have purchased the house if they had known about the need for a variance. Director of Community Development Meadows added that the existing structure is not technically conforming Porte-cochere under current regulations. Alternate Board Member Diehl asked whether Mr. Vincent would need the entire 8 feet requested. Mr. Vincent mentioned that anything less than the 8 feet requested might not look aesthetically pleasing.

Following discussion, Motion failed 0-5. A copy of the Decision is attached to these Minutes.

**5. ADJOURNMENT**

Acting Chairman Jones made a motion to adjourn the meeting at 6:25 p.m., and Alternate Board Member Wells seconded the motion. Motion carried 5-0.

Signed: \_\_\_\_\_

Chairman, Board of Adjustment

Attest: \_\_\_\_\_  
Jasmin Torres, City Secretary

**Spring Valley Village  
Board of Adjustment  
Agenda Item Data Sheet**

**MEETING DATE:** November 16, 2022

**TOPIC:** **CONDUCT A PUBLIC HEARING CONCERNING:** A Request from Adam Noyes for a variance from Chapter 12 of the City of Spring Valley Village’s Code of Ordinances, Planning and Zoning, Subsection 05:02.03.09.03, Side Building Line Setback, of Section 5, Building and Use Restrictions in Dwelling District “A”, to allow a new garage and second story to be located at 2.9 Feet from the Side Property Line, Instead of the Required 8 Feet, for the Property Located at 8316 Winningham Lane, in the City of Spring Valley Village, Texas.

**BACKGROUND:** Adam Noyes (“Applicant”) wishes to remove his existing garage, build a new garage and add a second story above the newly built garage located at 8316 Winningham Lane (“Property”).

Currently the existing garage sits just under three feet from the side property line, at 2.9 feet. However, Mr. Noyes is looking to remove the existing garage, thus losing the nonconformity of the existing structure. Subsection 05.02.03.09.03, Side Building Line Setback, of Section 5, Building and Use Restrictions in Dwelling District “A” to Chapter 12, Zoning, of the Code of Ordinances requires as follows:

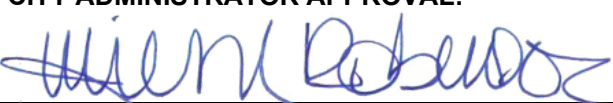
“Adjoining another lot. For adjoining side property lines, the side building setback shall be not less than eight feet (8’). Where a side property line adjoins the rear property line of adjacent property, the side yard setback for the second story shall be not less than fifteen feet (15’).”

The proposed construction would violate the requirement found in the above section that the structure proposed must be a minimum of eight (8’) feet from the side property line, this is for both the garage and the new second story portion of the home.

The Applicant has provided as a part of their application what they consider justification as to why the variance should be granted.

**RECOMMENDATION:** Not applicable during the public hearing.

- ATTACHMENTS:**
- Variance Application Packet Submitted by Adam Noyes for 8316 Winningham Lane
  - Subsection 05:02.03.09.03 of the Zoning Ordinance
  - Notice of Public Hearing and Mailing Labels
  - Zoning Change Sign Posting and Maintenance Affidavits

<p><b>SUBMITTING STAFF MEMBER:</b></p> <p>Zachary Meadows, Director of Community Development</p>	<p><b>CITY ADMINISTRATOR APPROVAL:</b></p> 
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**DIVIDER PAGE**



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VILLAGE

**BOARD OF ADJUSTMENTS APPLICATION**

**PROPERTY INFORMATION**

Property Address: 8316 Winningham Ln, Houston, TX 77055

Legal Description: LT 32 BLK 7  
BRIGHTON PLACE

Present District Zoning: 394 -- ISD 25 - Memorial Villages North of I-10

Action Requested (Circle):  Variance  Special Exception  Appeal

Requested Variance/Special Exception/Appeal Description:

- 1) Rear setback Second Story (25') (Chap. 12 Sec. 05:02.03.09.04) DNC 25' rear setback req.
- 2) Side setback (8') Side Property Adjoining local/collector street (15') Side Property Adjoining Major Thoroughfare (25') (Chap. 12 Sec. 05:02.03.09.03)
- 3) Max: 24" from edge of foundation into setbacks (Chap. 12 Sec. Three - DEFINITIONS 03:M01)

**OWNER INFORMATION**

Name: Adam Noyes

Phone#: 713-725-2229

Address: 8316 Winningham Ln, Houston, TX 77055

Email: adamgnoyes@gmail.com

**APPLICANT/AGENT INFORMATION**

Name:

Phone#:

Address:

Email:

\*\*If applicant is different than property owner a **Notarized Letter of Authorization** must be attached to the application

**PROPERTY OWNER/AGENT AUTHORIZATION**

**Property Owner Consent/Agent Authorization:** By my signature, I hereby affirm that I am the property owner of record, or if the applicant is an organization or business entity, that authorization has been granted to represent the owner, organization or business in this application. I certify that the preceding information is complete and accurate, and it is understood that I agree to the application being requested for this property. Additionally, my signature below indicates my awareness of the fee required at the time of the application submittal and any additional fees as noted in the City's fee schedule. This fee is non-refundable even in the event of application withdrawal.

Adam Noyes

8/31/22

Signature of Contractor/Authorized Agent

Printed Name

Application Date

**FOR OFFICE USE ONLY**

BOA Case Number: \_\_\_\_\_

Date Submitted: \_\_\_\_\_

BOA Meeting Date: \_\_\_\_\_

BOA Decision:  Approved  Denied

## BOARD OF ADJUSTMENTS APPLICATION REQUIREMENTS

### Attach These Items With Completed Application:

- Letter of Permit Application Denial
- Survey/Plot Plan showing all existing structures with dimensions and distances from property lines
- Project Information
- Proof of Ownership
- Letter from property owner if different from the applicant
- Architectural scale Drawings
- \$350.00 Fee
- Letter stating facts and reasons for Hardship and/or Appeal; Specific answers to the following statements:
  - Special circumstances exist that are peculiar to the land or structure.
  - These special circumstances are not self-imposed or the result of the actions of the applicant.
  - Literal interpretation and enforcement of the terms and provisions of the ordinance would cause an unnecessary and undue hardship.
  - Granting the variance is a minimum action that will make use of the land or structure which is not contrary to the public interest and which would carry out the spirit of the ordinance and would result in substantial justice.
  - Such variance will not alter the essential character of the district in which it is located or the property for which the variance is sought.
  - Such variance will not authorize a use other than those uses specifically authorized for the district in which the property for which the variance is sought is located.
  - The variance will not adversely affect the health, safety or welfare of the public.
- The Board may consider the following in relation to their decision on whether to grant a variance or not, please provide an answer to each of the following:
  - The financial cost of compliance is greater than 50 percent of the appraised value of the structure as shown on the most recent appraisal roll certified to the assessor for the municipality under Section [26.01](#), Tax Code.
  - Compliance would result in a loss to the lot on which the structure is located of at least 25 percent of the area on which development may physically occur.
  - Compliance would result in the structure not being in compliance with a requirement of a municipal ordinance, building code, or other requirement.
  - Compliance would result in the unreasonable encroachment on an adjacent property or easement.
  - The Municipality considers the structure to be a nonconforming structure.



# BBG CONSULTING, INC.

## PLAN REVIEW COVER SHEET

PROPERTY INFORMATION	
Project Address	8316 Winningham Ln
Submittal Date	5/3/2022
Property Sq. Footage	10,019 sq ft
Floodplain	<input checked="" type="checkbox"/> X (No Floodplain) <input type="checkbox"/> X – Shaded (500-year) <input type="checkbox"/> AE (100-year)
Zoning District	Dwelling District A
ROW Width	<input checked="" type="checkbox"/> 50 Feet <input type="checkbox"/> 60 Feet <input type="checkbox"/> Other _____
Review Fee	\$

PROJECT INFORMATION			
Requirements	Allowed per Ordinance	Provided/BBG	ZM
Minimum Setbacks	Front Setback 25'/60' ROW OR 30'/50' ROW OR Cul-De-Sac 20' (Chap. 12 Sec. 05:02.03.09.02)	Complies (existing)	
	Rear First Story (10') Rear Property Adjoining a collector street (15') (Chap. 12 Sec. 05:02.03.09.04)	Complies (existing)	
	Rear setback Second Story (25') (Chap. 12 Sec. 05:02.03.09.04)	DNC 25' rear setback req.	
	Side yard Adjacent to rear-yard (increased setbacks for second story) – VERIFY.  Side Property Adjoining rear of another lot the Second Story setback (15')	N/A	
	Side setback (8') Side Property Adjoining local/collector street (15') Side Property Adjoining Major Thoroughfare (25') (Chap. 12 Sec. 05:02.03.09.03) <b>*note stairs can not be in required setbacks.</b>	DNC Plans currently show 2.9' from side yard. Variance req.	

	Garage 5' behind furthest exterior wall (from Living area) (Chap 12 Sec. 05:02.01.04)	Complies	
A/C and Pool Equipment	Minimum 4' from Property line (Chap. 12 Sec. 05:02.13)	Complies	
Height of Structure	Max: 2 stories / 36' (ridge height submittal sheet) (Chap. 12 Sec. 05:02.03.02 & Ord. 2011-05 Sec. 2 03:H01)	Complies	
Driveway Width	Max Width at Intersection of Street (24' + radii) (Requirements/Exceptions Chap. 12 Sec. 05:02.03.10)	Complies (existing)	
Garage	Min: 400 square feet no greater than 50% of the width of the dwelling (Chap. 12 Sec. 05:02.01)	Complies	
Porte Cochere or Garage Overhang	Maximum of 400 square feet, must be located behind the front of the home, and have an entrance to the dwelling next to it.	N/A	
Max Foundation Elevation	Max: 4' above the maximum foundation height. 8" fill maximum for adjacent grade. (Chap. 3 Article 3.1503(k)) (Chap 12. Sec. 05:02.03.07)	Complies	
Lot Coverage behind building line	Max: 60% Impervious Surface (Chap. 12 Sec. 05:02.08)	Complies	
Lot Coverage in front of building line	Max: 50% Impervious Surface (Chap. 12 Sec. 05:02.08)	Complies	
Balconies and Eaves	Max: 24" from edge of foundation into setbacks (Chap. 12 Sec. Three - DEFINITIONS 03:M01)	DNC Variance for setbacks req.	

RESIDENTIAL PLAN SUBMITTAL CHECKLIST		
REQUIRED DOCUMENTS	BBG	ZM
Provide a complete and accurate permit application	<input checked="" type="checkbox"/>	
Provide Engineer drawings (stamped and sealed by Texas licensed professional)	<input checked="" type="checkbox"/>	
Provide property survey (registered professional land surveyor of the State of Texas)	<input checked="" type="checkbox"/>	
Provide Elevation Certificate for proposed construction (N/A)	<input checked="" type="checkbox"/>	
Provide Energy Code compliance letter/certificate	<input checked="" type="checkbox"/>	
Provide Tree disposition plan / fence protection (Chap. 3 Sec. 3:1002)	<input checked="" type="checkbox"/>	
Provide Scaled Floor Plan	<input checked="" type="checkbox"/>	
Provide Framing Plan (signed by structural engineer)	<input checked="" type="checkbox"/>	
Provide Fire Sprinkler System; must be provided on all new homes and additions/renovations/remodels over 50% of existing square footage or replacement cost of structure) (Chap. 5)	<input type="checkbox"/>	

Provide Elevations of structure (labeled)	<input checked="" type="checkbox"/>	
Provide Height verification form for structure and floor levels (Shall not exceed two stories and shall not exceed 36 ft. above natural grade) (Chap. 12 Sec. 05:02.03.02 and Chap12 Sec. Three – DEFINITIONS 03:H-01)	<input checked="" type="checkbox"/>	
Provide Electrical load analysis (NEC 2017)	<input type="checkbox"/>	
Provide Foundation plan (stamped by Engineer) (Chap. 12 Sec. 1:02.01.02)	<input checked="" type="checkbox"/>	
Provide Plumbing Gas Riser, water and DWV diagram	<input type="checkbox"/>	

## Plan Review Comments

### Plans are disapproved with the following comments:

1. Provide a rear setback of 2<sup>nd</sup> story of 25 feet. Either revise plans to show the required 25-foot setback or apply for a Variance to allow a 23' 5 ¼" setback for the second story.
2. Revise plans to show a 5' side yard setback or apply for a variance to allow for reduced side-yard setback (according to Sec. 05:02.03.09.03.05). Current plans show the existing garage is at 2.9' (Survey) shows 3' on the plans.

**05:02.03.09.03.05.** An exception to the side building line setback for pre-existing dwellings and pre-existing garages. This subsection is applicable to pre-existing dwellings and pre-existing garages only. It is the intent of this subsection to permit a one-story enlargement or a one-story alteration of a pre-existing dwelling or pre-existing garage (whether one story or greater) within the side setback area as described in this subsection. A dwelling or garage that was constructed (pre-existing only) from the side property line of an adjoining lot, street or major-thoroughfare as permitted by the city's regulations then in effect may be enlarged or altered within the side building line setback adjoining another lot, street or major-thoroughfare provided that the one-story enlargement or one-story alteration is no closer to the side lot line than the pre-existing structure and is no closer than five feet from the side property line of the adjoining lot, street, or major thoroughfare. Further, the one-story enlargement or the one-story alteration within the current side setback area of the adjoining lot, street or major-thoroughfare shall not exceed in height the one-story height of the pre-existing structures on the lot based upon their first floor plate height and roof slope. This exception applies only to side building line setbacks. (Ordinance 96-10; Ordinance 2003-02 adopted 1-20-03; Ordinance 2009-13 adopted 8-25-09)

3. Provide Electrical load analysis.

Zach Meadows  
Director of Community Development  
Spring Valley Village  
1025 Campbell Rd  
Houston, Texas 77055

Re: Request for variance from setback at 8316 Winningham Ln, Houston, TX 77055

The Noyes residence located at 8316 Winningham Ln., Houston, TX 77055 was purchased in November of 2017. A building construction permit was requested on April 27, 2022, with the intention of remodeling the home, including adding a second story over the existing garage (the "Project"). The plans submitted to the City of Spring Valley Village (the "City") were denied until variance request is completed and approved. The HOA of Brighton Place has reviewed and approved.

The construction of the first and second story portion of the garage and room addition remodel violates the exception language found within (Chap. 12 Sec. 05:02.03.09.04), (Chap. 12 Sec. 05:02.03.09.03), (Chap. 12 Sec. Three – DEFINITIONS 03:M01). The existing garage sits 2.9' from the side property line which is the same side setback as the new improvement garage. The rear setback has an 18" delta from acceptable 25' to 23'6". The balconies and eaves correspond with existing placement for side setback as current garage location.

- Special circumstances exist that are peculiar to the land or structure.
  - The Noyes plans submission to the city was placed requires variance due to existing side setback and rear side setback that will accommodate garage to fit 2022+ vehicle sizes compared to 1979 vehicle sizes which garage was originally designed for, comply with HOA by laws of a requirement of a 400sqft garage area and to allow for a 2-car garage.
- These special circumstances are not self-imposed or the result of the actions of the applicant.
  - Special circumstances are part of the existing layout of the home which does not allow for movement of garage to accommodate 8' side setback while maintaining a 2-car garage and complying with HOA by-laws of a minimum of 400sqft garage. This is the original garage built in 1979 and placement on lot.
- Literal interpretation and enforcement of the terms and provisions of the ordinance would cause an unnecessary and undue hardship.
  - The Noyes project compliance with the City required setbacks would cause undue hardship on the Noyes property by reducing the marketability of the home with a single car garage. Adhering to the side setback would cause a depreciation in the value and marketability of the property at 8316 Winningham Ln without a 2-car garage by approx.

>\$150,000 dollars. This would also potentially incur fines or penalties from Brighton Place HOA for non-compliance for minimum build standards.

- Granting the variance is a minimum action that will make use of the land or structure which is not contrary to the public interest, and which would carry out the spirit of the ordinance and would result in substantial justice.
  - Ability to maximize the lot space and utilize the existing structure setback to provide new garage and living space will provide additional use for the property. This would improve the value of the neighborhood and the value of the home substantially. This project has been reviewed with neighbors and approved in writing by HOA. (See attached letters and approvals)
- Such variance will not alter the essential character of the district in which it is located or the property for which the variance is sought.
  - Granting of variance will not alter the essential character of the district in which it is located. This will improve the value of the existing home, improve the value of the neighborhood, improve the value of the City of Spring Valley and has the full support of the Brighton Place HOA and adjoining neighbors (See attached letters and approvals.)
- Such variance will not authorize a use other than those uses specifically authorized for the district in which the property for which the variance is sought is located.
  - Correct, this will not authorize use other than those specifically authorized for the district. This is a single-family residence and will continue to serve and comply with city and neighborhood as a single-family residence.
- The variance will not adversely affect the health, safety or welfare of the public.
  - Correct, this will not affect the health, safety, or welfare of the public.

The Board may consider the following in relation to their decision on whether to grant a variance or not, please provide an answer to each of the following:

- The financial cost of compliance is greater than 50 percent of the appraised value of the structure as shown on the most recent appraisal roll certified to the assessor for the municipality under Section 26.01, Tax Code.
  - n/a
- Compliance would result in a loss to the lot on which the structure is located of at least 25 percent of the area on which development may physically occur.
  - Yes, compliance would result in loss of 28% of the area on which the development of the garage would occur.
- Compliance would result in the structure not being in compliance with a requirement of a municipal ordinance, building code, or other requirement.
  - Compliance would result in the structure would result in non-compliance of minimum building code for Brighton Place HOA requiring a 2-car garage (minimum 400sqft).
- Compliance would result in the unreasonable encroachment on an adjacent property or easement.
  - n/a
- The Municipality considers the structure to be a nonconforming structure.
  - n/a



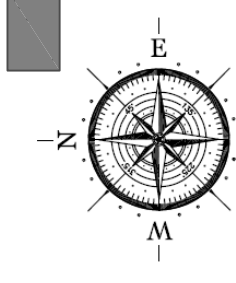
**LEGEND** \* ITEMS THAT MAY APPEAR IN \*  
DRAWING BELOW

- M.U.E. - MUNICIPAL UTILITY EASEMENT
- U.E. - UTILITY EASEMENT
- A.E. - AERIAL EASEMENT
- D.E. - DRAINAGE EASEMENT
- S.S.E. - SANITARY SEWER EASEMENT
- STW.S.E. - STORM SEWER EASEMENT
- W.L.E. - WATER LINE EASEMENT

- F.I.R. - FOUND IRON ROD
- F.I.P. - FOUND IRON PIPE
- S.I.R. - SET IRON ROD
- W.P. - WOODEN POST
- M.P. - METAL POST
- C.F.# - CLERK'S FILE NUMBER
- P.O.C. - POINT OF COMMENCING
- P.O.B. - POINT OF BEGINNING
- B.L. - BUILDING LINE
- F.N.D. - FOUND
- B.R.S. - BEARS

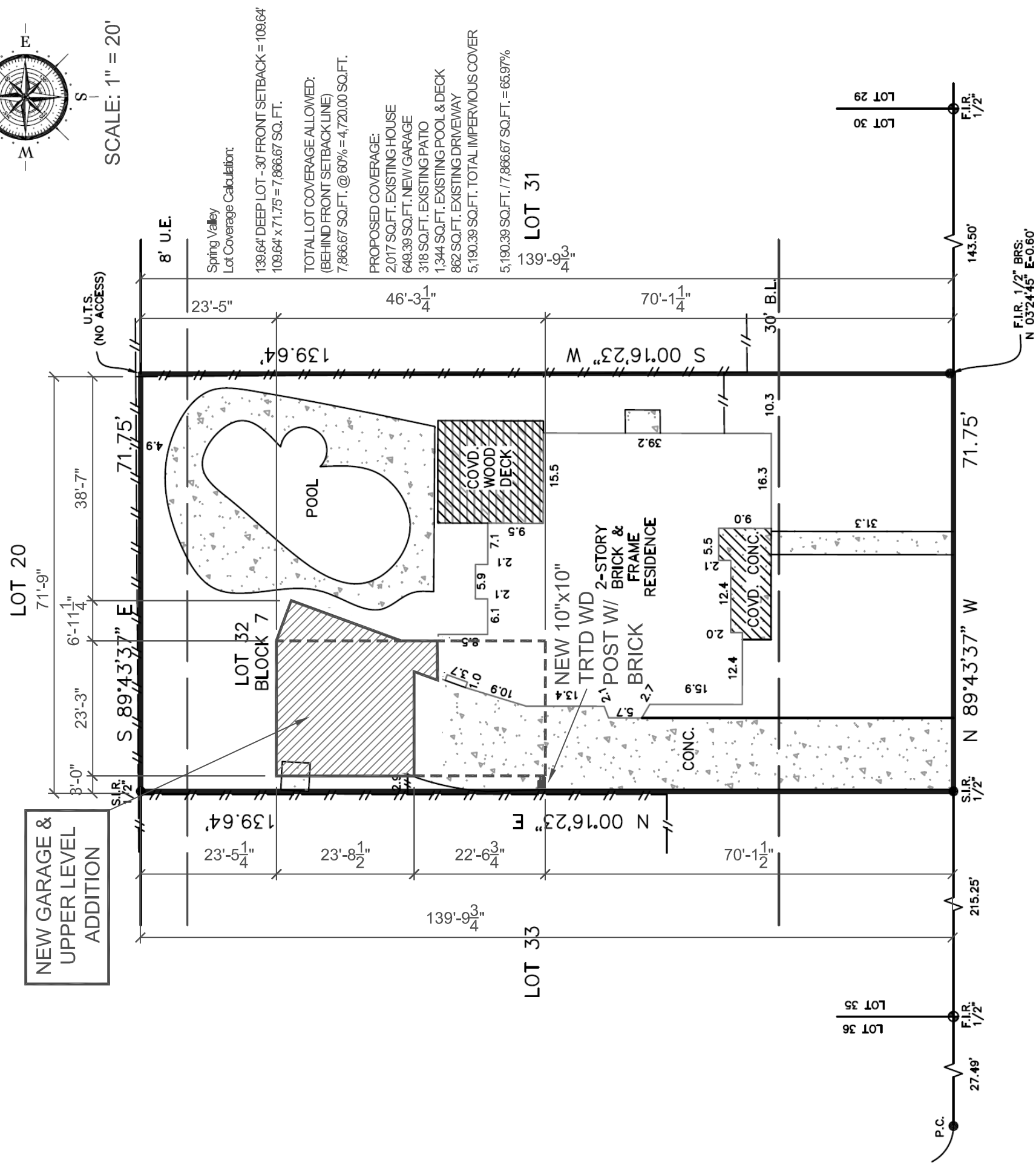
- P.A.E. - PERMANENT ACCESS EASEMENT
- P.U.E. - PUBLIC UTILITY EASEMENT
- M.U.E. - MUNICIPAL EASEMENT
- E.E. - ELECTRIC EASEMENT
- P.T. - POINT OF TANGENCY
- P.R.C. - POINT OF REVERSE CURVATURE
- P.C.C. - POINT OF COMPOUND CURVATURE
- P.P. - POWER POLE
- S.F.N.F. - SEARCHED FOR, NOT FOUND
- U.T.S. - UNABLE TO SET

- CONTROL MONUMENT
- PROPERTY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- BUILDING WALL
- WOODEN FENCE
- CHAIN LINK FENCE
- METAL FENCE
- WIRE FENCE
- VINYL FENCE



SCALE: 1" = 20'

**NEW GARAGE & UPPER LEVEL ADDITION**



**8316 WINNINGHAM LANE**  
(50' R.O.W.)

Reviewed & Accepted by: \_\_\_\_\_

Date: \_\_\_\_\_

/

Date: \_\_\_\_\_

**LEGAL DESCRIPTION**

LOT 32, IN BLOCK 7 OF BRIGHTON PLACE, A SUBDIVISION IN HARRIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 241, PAGE 1 OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS.

ADAM GARRETT NOYES  
JAMIE FOSTER NOYES

ADDRESS  
8316 WINNINGHAM LANE



I DO HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON (OR ON ATTACHED SHEET), AND THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN, AND WAS DONE BY ME OR UNDER MY SUPERVISION, AND CONFORMS TO OR EXCEEDS THE CURRENT STANDARDS AS ADOPTED BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING.

JOB # 1710512

DATE 11-2-17

GF# 17004715

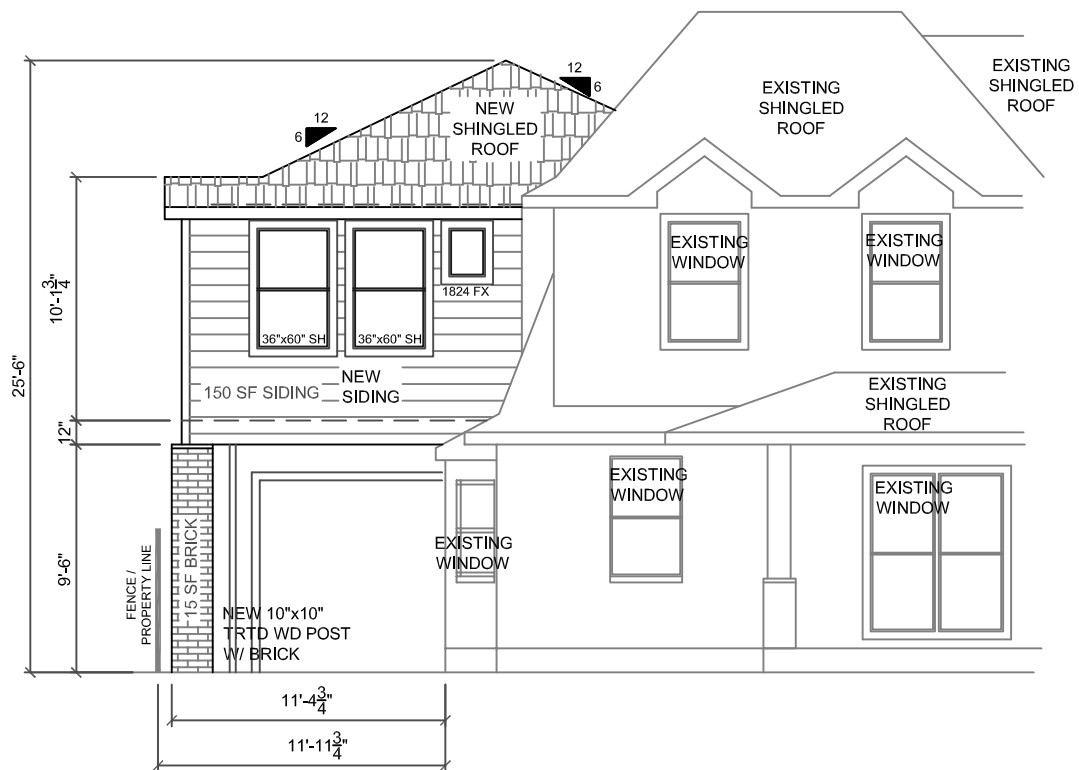
**PRO-SURV**

P.O. BOX 1366, FRIENDSWOOD, TX 77549  
PHONE-281-996-1113 FAX - 281-996-0112

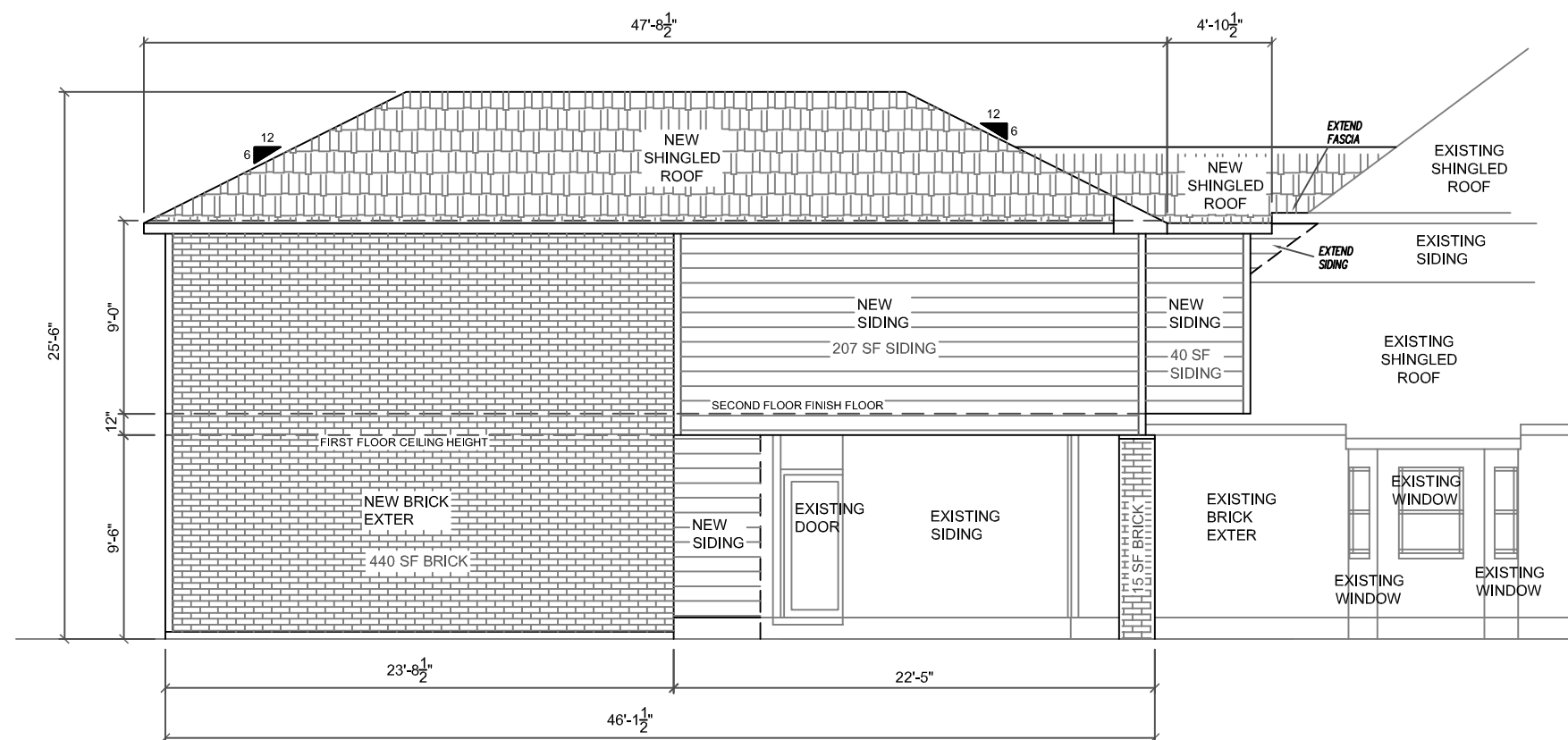
EMAIL: orders@prosurv.net  
TBPLS FIRM NO.:10119300

ONLY SURVEY MAPS WITH THE SURVEYOR'S ORIGINAL SIGNATURE ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.

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FRONT ELEVATION  
(STREET VIEW)  
SCALE: 1/8" = 1'-0"



SIDE ELEVATION  
SCALE: 1/8" = 1'-0"

DESIGN LOADS:

2018 INTERNATIONAL RESIDENTIAL CODE  
2017 NATIONAL ELECTRICAL CODE  
ULTIMATE WIND LOAD DESIGN = 140 MPH  
ROOF LIVE LOAD = 20.0 PSF  
ROOF DEAD LOAD = 10.0 PSF  
FLOOR LIVE LOAD = 40.0 PSF  
FLOOR DEAD LOAD = 10.0 PSF

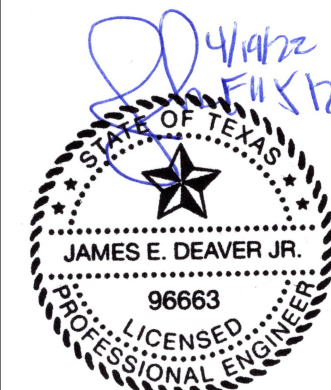
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TDI INFO:

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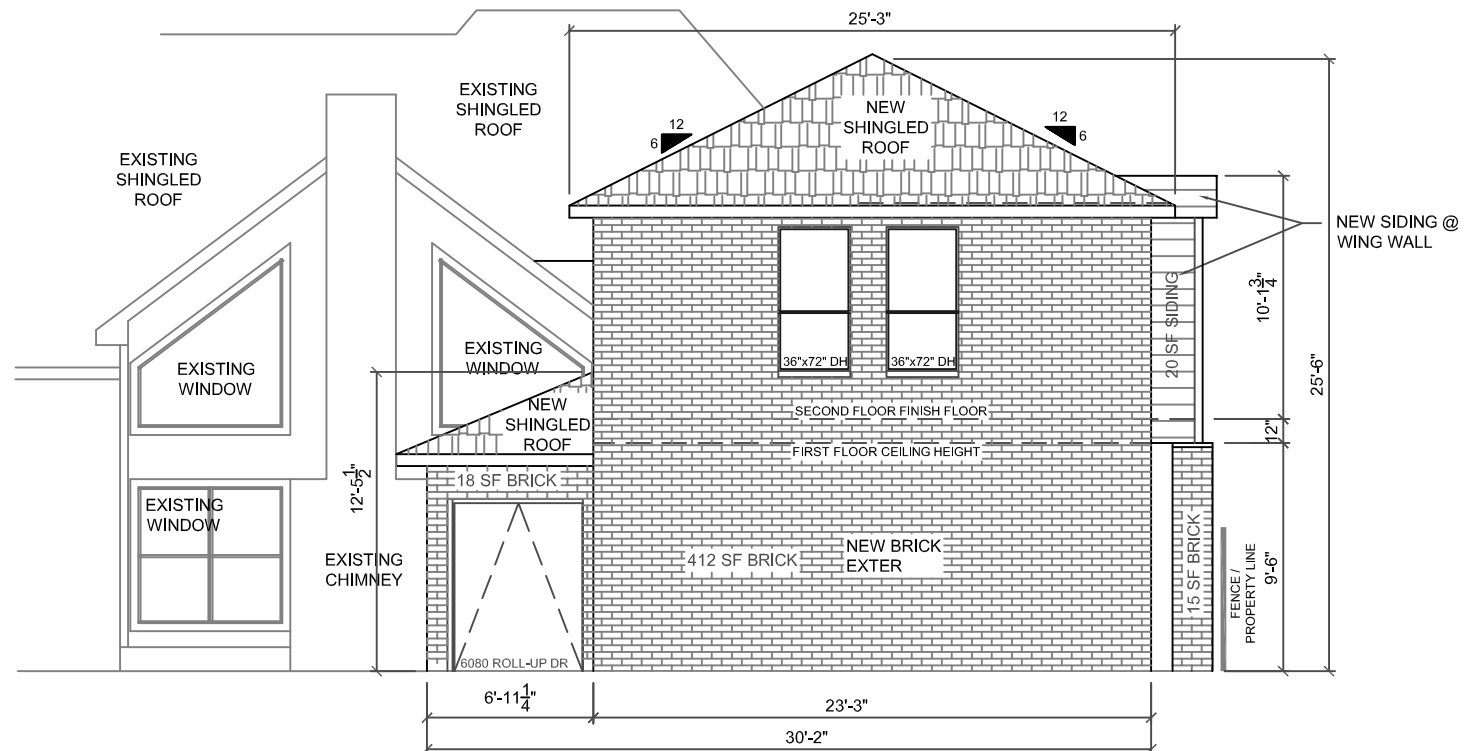
Plans do not include TDI Windstorm Inspections and Filing. If WPI-8 is desired, engineer to be notified prior to installation of concrete, cover up of framing and roof decking, and prior to project completion in order to perform inspection for Windstorm

Engineer:

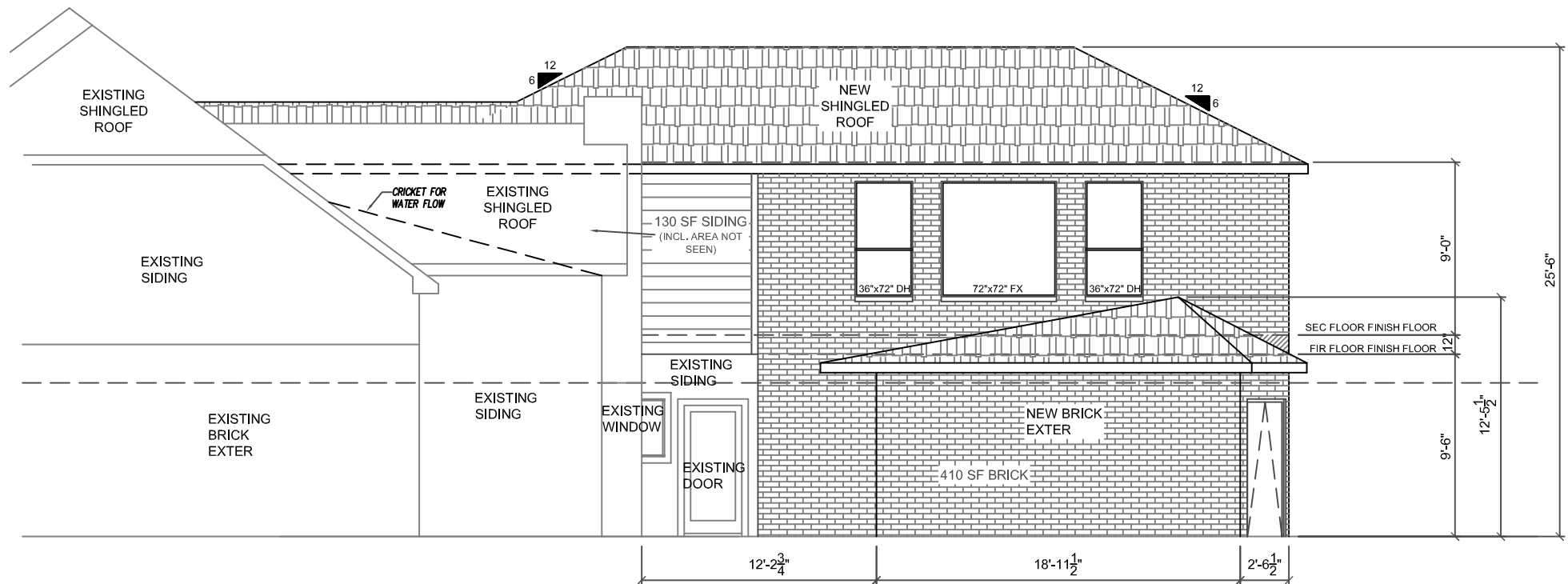


Project Name and Address  
Noyes Residence  
8316 Winningham Ln  
Houston, TX 77055

Project: 22-01011 Sheet  
Date: A1  
Scale:



REAR ELEVATION  
SCALE: 1/8" = 1'-0"



SIDE ELEVATION  
SCALE: 1/8" = 1'-0"

DESIGN LOADS:

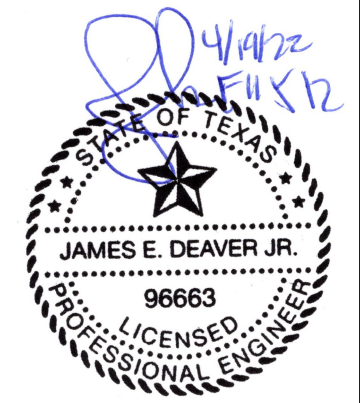
2018 INTERNATIONAL RESIDENTIAL CODE  
2017 NATIONAL ELECTRICAL CODE  
ULTIMATE WIND LOAD DESIGN = 140 MPH  
ROOF LIVE LOAD = 20.0 PSF  
ROOF DEAD LOAD = 10.0 PSF  
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FLOOR DEAD LOAD = 10.0 PSF

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TDI INFO:

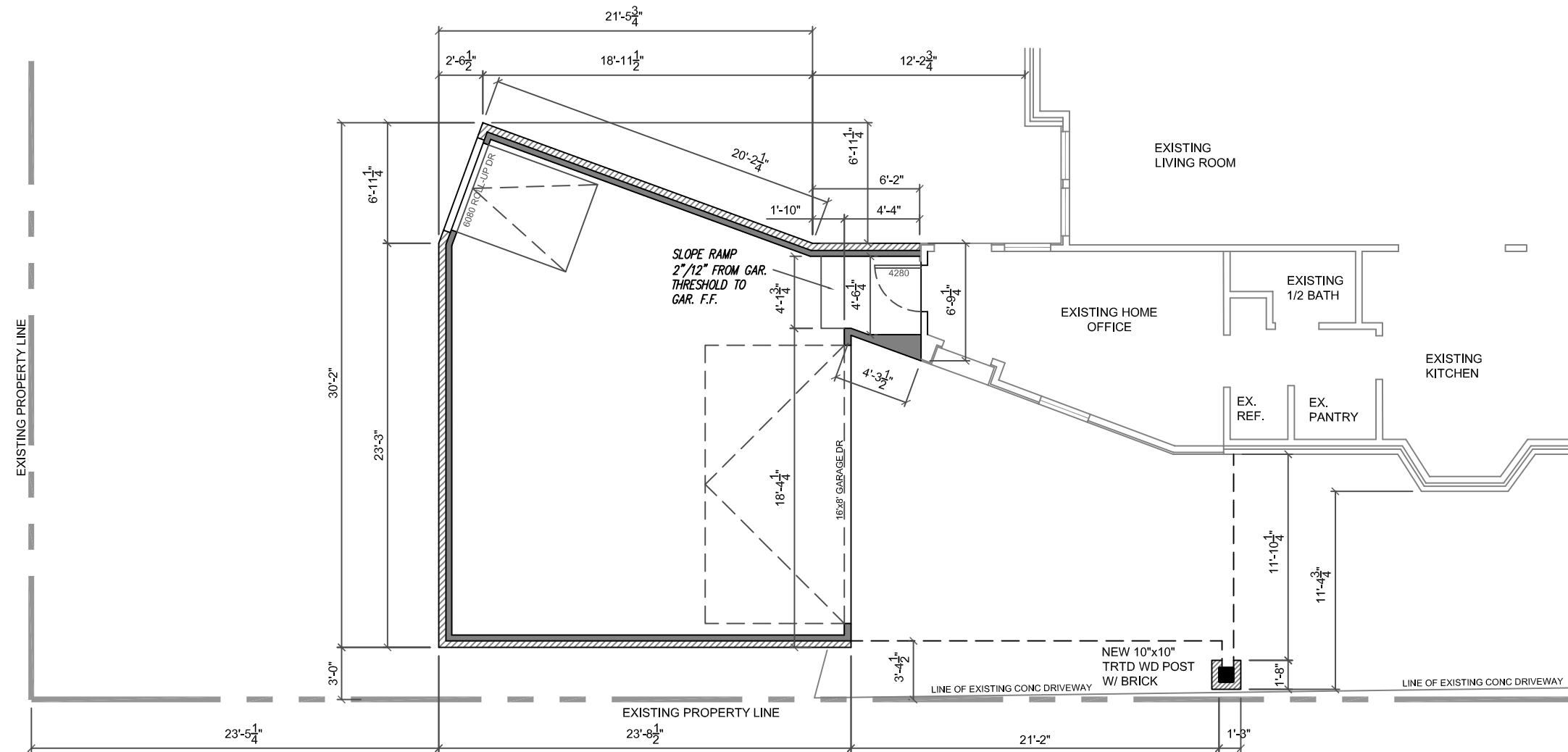
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Engineer:



Project Name and Address  
Noyes Residence  
8316 Wunningham Ln  
Houston, TX 77055

Project: 22-01011	Sheet
Date:	A2
Scale:	



PROPOSED GARAGE / FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

DESIGN LOADS:

2018 INTERNATIONAL RESIDENTIAL CODE  
2017 NATIONAL ELECTRICAL CODE  
ULTIMATE WIND LOAD DESIGN = 140 MPH  
ROOF LIVE LOAD = 20.0 PSF  
ROOF DEAD LOAD = 10.0 PSF  
FLOOR LIVE LOAD = 40.0 PSF  
FLOOR DEAD LOAD = 10.0 PSF

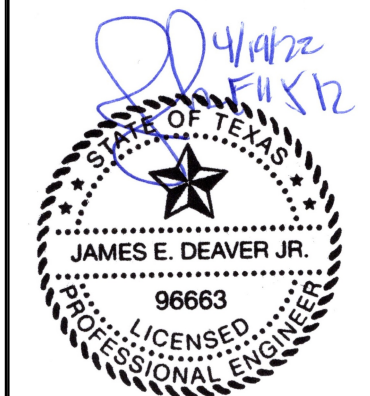
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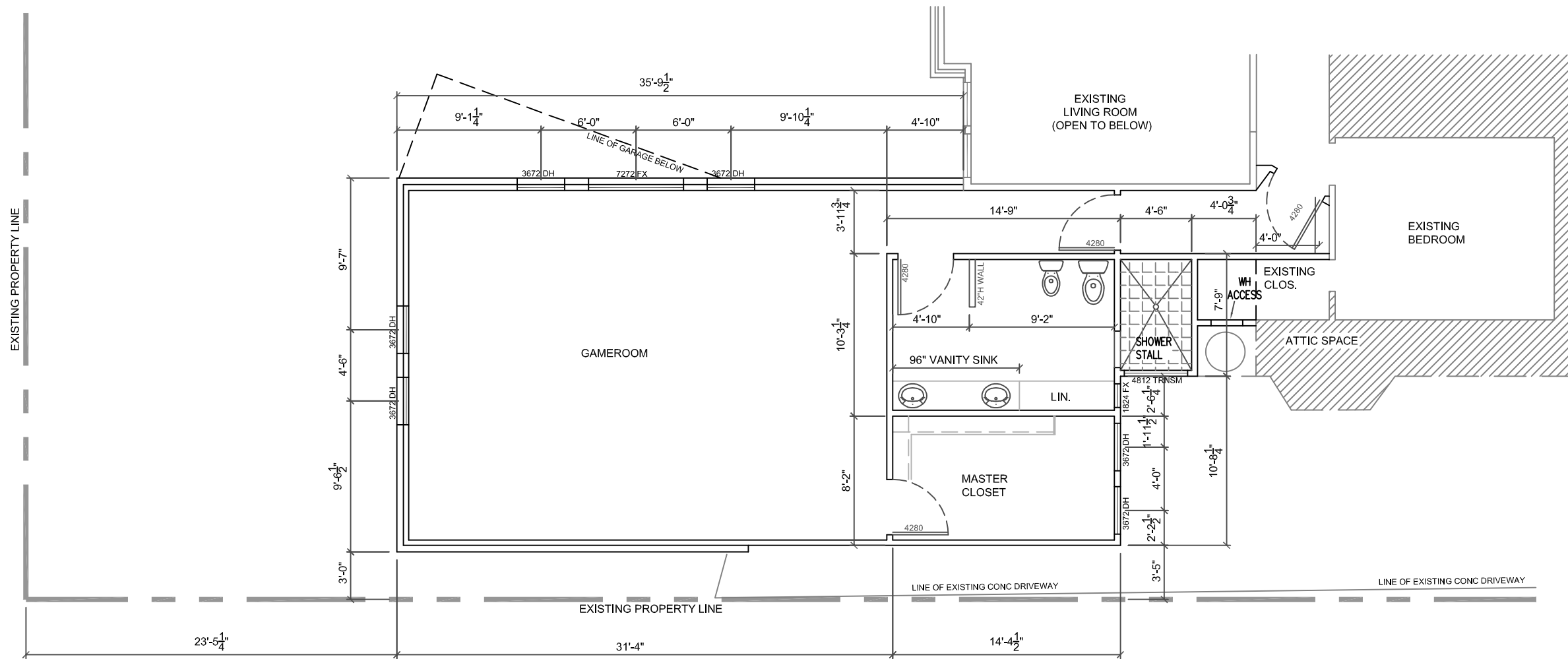
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Engineer:



Project Name and Address  
Noyes Residence  
8316 Winningham Ln  
Houston, TX 77055

Project: 22-01011	Sheet
Date:	A3
Scale:	



SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

DESIGN LOADS:

2018 INTERNATIONAL RESIDENTIAL CODE  
2017 NATIONAL ELECTRICAL CODE  
ULTIMATE WIND LOAD DESIGN = 140 MPH  
ROOF LIVE LOAD = 20.0 PSF  
ROOF DEAD LOAD = 10.0 PSF  
FLOOR LIVE LOAD = 40.0 PSF  
FLOOR DEAD LOAD = 10.0 PSF

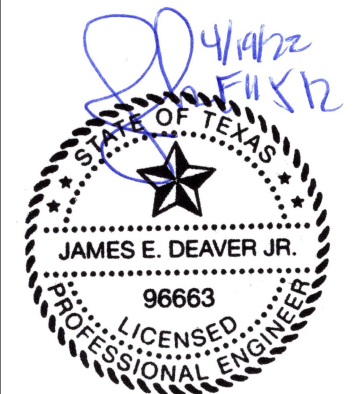
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TDI INFO:

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Plans do not include TDI Windstorm Inspections and Filing. If WPI-8 is desired, engineer to be notified prior to installation of concrete, cover up of framing and roof decking, and prior to project completion in order to perform inspection for Windstorm

Engineer:



Project Name and Address  
Noyes Residence  
8316 Wunningham Ln  
Houston, TX 77055

Project: 22-01011	Sheet
Date:	A4
Scale:	

# GENERAL NOTES

1. THE FOLLOWING SPECIFICATIONS ARE AN OUTLINE OF MINIMUM MATERIAL REQUIREMENTS AND THEIR APPLICATION. MANUFACTURER SPECIFICATION AND LOCAL CODE REQUIREMENTS WHEN IN EXCESS OF MINIMUM SPECIFICATIONS SHALL CONTROL. IT IS THE CONTRACTORS RESPONSIBILITY TO REVIEW AND SUBMIT ALL SHOP DRAWINGS AND REPORT ALL DOCUMENTS DISCREPANCIES TO THE STRUCTURAL ENGINEER PRIOR TO FABRICATION OR ERECTION.

2. AT CONSTRUCTION ISSUE, THESE DRAWINGS REPRESENT STRUCTURAL COMPONENTS IN THEIR FINAL AND FINISHED STATE. CONSTRUCTION PROCEDURES, METHODS, SAFETY PRECAUTIONS OR MECHANICAL REQUIREMENTS USED TO ERECT THEM ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR OR SUBCONTRACTOR DOING THE WORK.

## CONCRETE NOTES AND SPECIFICATIONS:

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE "A.C.I. BUILDING CODE", ACI 318 AND ACI 301, LATEST EDITION.
- DETAILING, FABRICATION AND PLACING OR REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ACI 315-90, "ACI DETAILING MANUAL - 1990".
- UNLESS OTHERWISE NOTED ALL REINFORCING BARS SHALL CONFIRM TO ASTM A-615 GRADE 60 (60,000 PSI YIELD) AND ALL DOWELS AND STIRRUPS SHALL CONFORM TO GRADE 40 (40,000 PSI YIELD). REINFORCING SHALL BE FREE FROM OIL, DIRT AND OTHER MATERIALS THAT WOULD REDUCE THE BOND WITH THE CONCRETE.
- WELDED WIRE MESH SHALL BE IN ACCORDANCE TO ASTM A185. PROVIDE MESH IN FLAT SHEETS. WELDED WIRE MESH SHALL BE SUPPORTED TO MID-DEPTH BY CHAIRS SPACED @ 48" O.C. EACH WAY. LAP WELDED WIRE MESH ONE FULL MESH AT SIDE AND END LAPS.
- UNLESS OTHERWISE NOTED, CONCRETE REINFORCING STEEL COVERAGE SHALL BE AS SPECIFIED IN THE "A.C.I. BUILDING CODE". (A.C.I. 318 LATEST EDITION).
- REINFORCING STEEL COVERAGE OF POURED-IN-PLACE MEMBERS: SEE SECTION 7.7 ACI 318 LATEST EDITION.

STRUCTURAL ELEMENT	MINIMUM COVER (INCHES)	W/C RATIO
FOOTINGS	3" ALL SURFACES	0.52
GRADE BEAMS	3" BOTTOM, 2" SIDES, 1 1/2" TOPS	0.52
SLAB ON GRADE	1 1/2" TOP & BOTTOM	0.52
WALLS	1 1/2"	0.52

- ALL CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI. PORTLAND CEMENT SHALL CONFORM TO ASTM C150, TYPE 1. MINIMUM OF 5 SACKS OF CEMENT PER CUBIC YARD.
- FLYASH MAY BE USED TO REPLACE A PORTION OF THE PORTLAND CEMENT. THE RATIO OF FLYASH TO THE TOTAL FLYASH AND CEMENT IN A MIX SHALL NOT EXCEED 20%. FLYASH SHALL CONFORM TO ASTM C618. TYPE C OR F.
- NO WATER SHALL BE ADDED TO THE CONCRETE AT THE JOBSITE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE CONCRETE SUPPLIER TO ENSURE A WORKABLE MIX WITHOUT THE ADDITION OF WATER AT THE JOBSITE. THE USE OF PLASTICIZERS, RETARDANTS AND OTHER ADDITIVES SHALL BE AT THE OPTION OF THE CONTRACTOR SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER. FOLLOW THE RECOMMENDATIONS OF THE MANUFACTURER FOR THE PROPER USE OF ADDITIVES. THE USE OF CALCIUM CHLORIDE OR OTHER CHLORIDE BEARING SALTS SHALL NOT BE PERMITTED.

10. MAXIMUM SLUMP IN CONCRETE SHALL NOT EXCEED 5" IN FLATWORK.

11. ALL REINFORCING STEEL SHALL BE LAPPED PER THE "REINFORCING SPLICE SCHEDULE" AT SPLICES AND AROUND CORNERS OR INTERSECTIONS WITH A STANDARD 90 DEGREE BEND ON CORNER BARS. LAP TOP BARS AT CENTER OF SPAN; LAP BOTTOM BARS AT SUPPORTS. LAP WELDED WIRE MESH ONE FULL MESH AT SIDE AND END LAPS.

## REINFORCING SPLICE SCHEDULE

REINF. SIZE	CONCRETE STRENGTH (PSI)				
	3000	4000	5000	6000	7000
#3	22"	19"	17"	16"	14"
#4	29"	25"	23"	21"	19"
#5	36"	31"	28"	26"	24"
#6	43"	37"	34"	31"	28"

12. PLACE CONCRETE IN A MANNER SO AS TO PREVENT SEGREGATION OF THE MIX. DELAY FLOATING AND TROWELING OPERATIONS UNTIL CONCRETE HAS LOST SURFACE WATER SHEEN OR ALL FREE WATER. DO NOT SPRINKLE FREE CEMENT ON THE SLAB SURFACE. FINISHING OF SLAB SURFACES SHALL COMPLY WITH THE RECOMMENDATIONS OF AC1 302.1 AND 304.

## FOUNDATION NOTES:

- FOOTINGS DESIGN OF FOUNDATION IS BASED ON A MINIMUM SOIL BEARING PRESSURE OF 3500 P.S.F. NET ALLOWABLE BEARING. THIS ENGINEER ACCEPTS NO RESPONSIBILITY FOR VERIFICATION OF ACTUAL-ON SITE SOIL BEARING CAPACITY.
- EXCAVATION FOR FOOTINGS SHALL BE NEAT.
- FOOTINGS SHALL BE POURED IMMEDIATELY AFTER EXCAVATION.
- STRUCTURAL STEEL REINFORCING SHALL BE INSTALLED AS INDICATED IN THE FOUNDATION DETAILS. ALL STEEL REINFORCEMENT SHALL BE LAPPED PER THE "REINFORCING SPLICE SCHEDULE" AT SPLICES AND AROUND CORNERS.
- FOOTING AND GRADE BEAM BOTTOM REINFORCEMENT SHALL BE SUPPORTED ON CHAIRS SPACED @ 48" O.C. MAXIMUM SPACING.
- CLEAN TOPS OF PIERS AND GRADE BEAM TRENCHES THOROUGHLY PRIOR TO PLACEMENT OF CONCRETE IN GRADE BEAMS.
- SEE ARCHITECTURAL DRAWINGS FOR FLOOR ELEVATIONS, SLOPES AND THE LOCATION OF FLOOR DEPRESSIONS.
- CONCRETE SHALL BE PLACED ON COMPACTED OR UNDISTURBED SOIL FREE FROM FOREIGN MATERIALS. STRIP THE CONSTRUCTION AREA TO REMOVE ALL VEGETATION, TREE ROOTS, ORGANIC TOP SOIL, LIMBS, STUMPS AND ANY UNDESIRABLE MATERIALS.
- THERE SHALL BE NO PLUMBING LINES RUNNING PARALLEL TO, WITHIN OR DIRECTLY UNDER ANY FOUNDATION BEAM. THEY MAY CROSS AT RIGHT ANGLES.
- PLACE A MIN. 6 MIL VAPOR BARRIER OF POLYETHYLENE (ASTM E 154 APPROVED) UNDER ALL CONCRETE SLABS. LAP ALL JOINTS 12".
- INSTALL W/6X6 W1.4 X W1.4 WWR WELDED WIRE MESH THROUGHOUT THE SLAB. LAP WELDED WIRE MESH ONE FULL MESH AT SIDE AND END LAPS.
- MUDSILL ANCHORAGE TO BE ACHIEVED WITH SIMPSON SSTB16 EMBEDDED A MINIMUM OF 7" INTO CONCRETE, SPACED A MAXIMUM OF 4'-0" ON CENTER & AT EACH END OF MUDSILL.

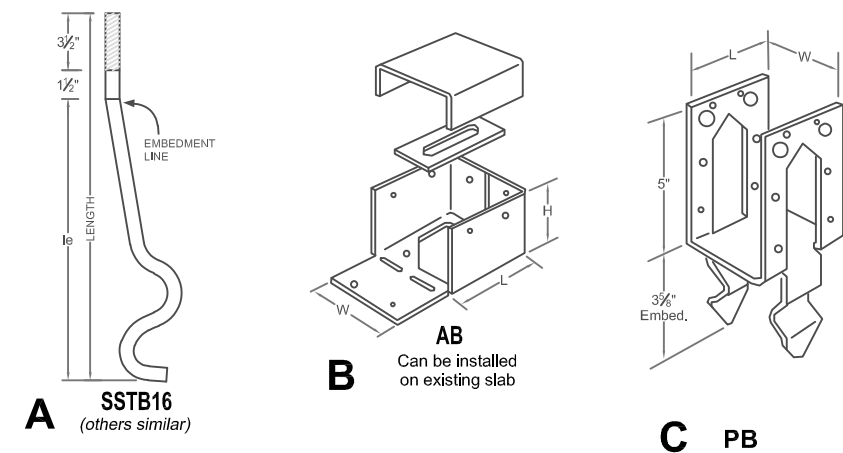
## SUBGRADE PREPARATION AND FILL:

- STRIP A MINIMUM OF 6" OF THE EXISTING SURFICIAL SOILS OF ALL AREAS WITHIN BUILDING LINES.
- FOLLOWING STRIPPING, PROOF ROLL EXPOSED SUBGRADE TO IDENTIFY WEAK OR SOFT AREAS. SUCH ZONES SHALL BE REMOVED AND REPLACED WITH SELECT FILL.
- GRADE AREA TO PREVENT PONDING OF WATER. DO NOT ALLOW EXPOSED SUBGRADE TO DRY.
- ALL FILL SHALL BE SELECT MATERIALS AS FOLLOWS:  
LEAN SANDY CLAY, FREE OF ORGANIC MATTER  
PLASTICITY INDEX (PI): 5 TO 20%  
LIQUID LIMIT: 28 TO 40%
- FILL SHALL BE PLACED IN MAXIMUM LOOSE LIFTS UP TO 8" AND COMPACTED TO AT LEAST 95% OF STANDARD PROCTOR (ASTM D 698) MAXIMUM DRY DENSITY AT A MOISTURE CONTENT RANGING WITHIN 2% OF OPTIMUM MOISTURE CONTENT.
- PROVIDE 2 - 8" LOOSE LIFTS OF COMPACTED FILL (COMPACTED FILL THICKNESS NOT TO EXCEED 12") AND 8" OF LEVELING SAND. (NOTE - EXISTING GRADE MAY HAVE TO BE CUT TO ACHIEVE THE COMPACTED FILL DEPTH SPECIFIED HEREIN)
- TESTING: ALL COMPACTED FILL SHALL BE TESTED BY A CERTIFIED TESTING AGENCY AT THE RATE OF ONE TEST PER 1000 SQUARE FEET OF EACH LIFT.

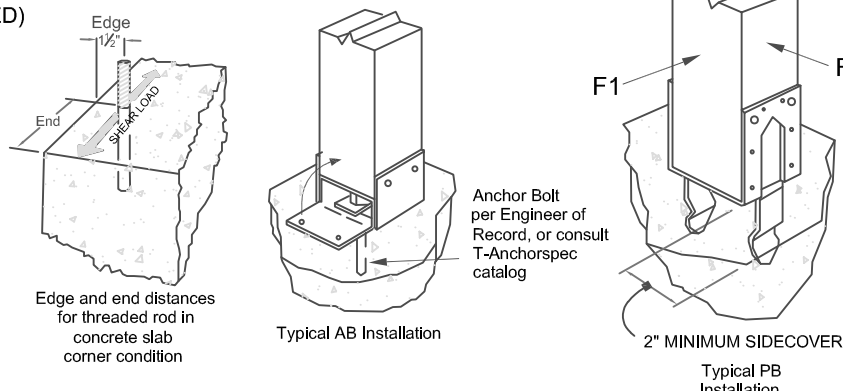
## SITE DRAINAGE:

- IT IS RECOMMENDED THAT THE SITE DRAINAGE BE WELL DEVELOPED. SURFACE WATER SHOULD BE DIRECTED AWAY FROM THE FOUNDATION. (USE A MINIMUM SLOPE OF 5% WITHIN 10 FEET OF THE FOUNDATION) NO PONDING OF SURFACE WATER SHALL BE ALLOWED NEAR THE STRUCTURE DURING OR AFTER COMPLETION OF THE CONSTRUCTION & THE LANDSCAPING. THE BUILDER SHALL ADVISE THE OWNER OF THE SITE DRAINAGE REQUIREMENTS.

## RECOMMENDED SIMPSON INSTALLATIONS



## TYPICAL SIMPSON INSTALLATIONS



## DESIGN LOADS:

2018 INTERNATIONAL RESIDENTIAL CODE  
2017 NATIONAL ELECTRICAL CODE  
ULTIMATE WIND LOAD DESIGN = 140 MPH  
ROOF LIVE LOAD = 20.0 PSF  
ROOF DEAD LOAD = 10.0 PSF  
FLOOR LIVE LOAD = 40.0 PSF  
FLOOR DEAD LOAD = 10.0 PSF

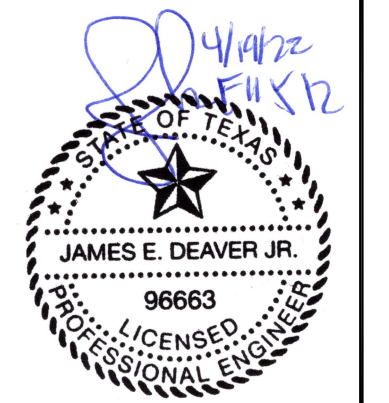
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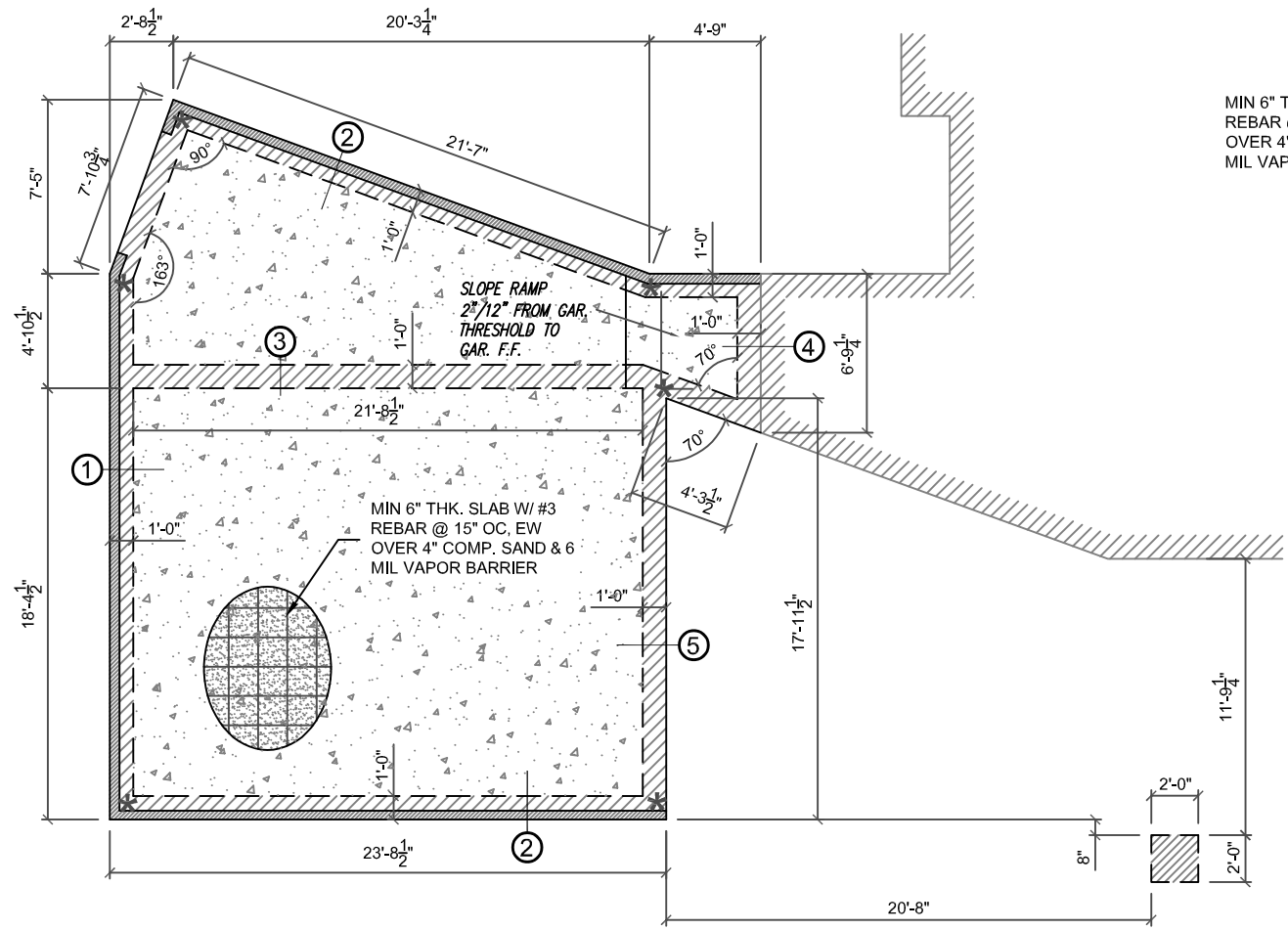
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Engineer:



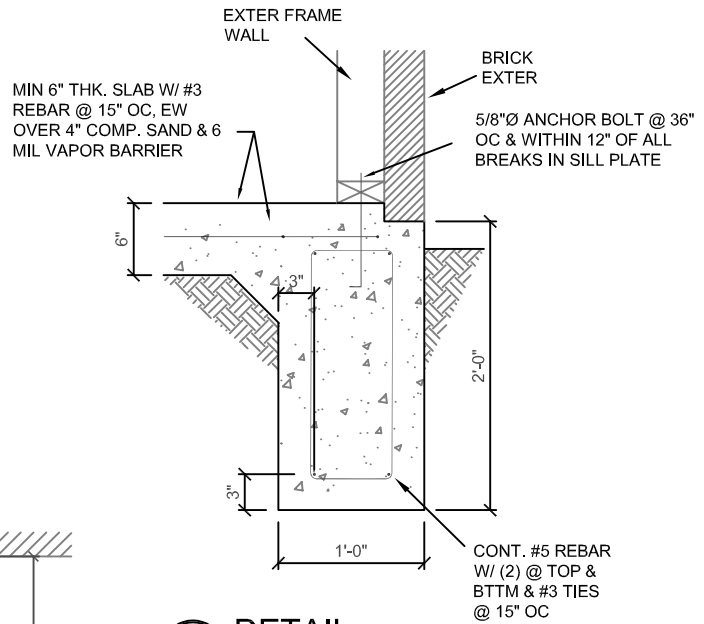
Project Name and Address  
Noyes Residence  
8316 Wunningham Ln  
Houston, TX 77055

Project: 22-01011 Sheet  
Date: S1  
Scale:

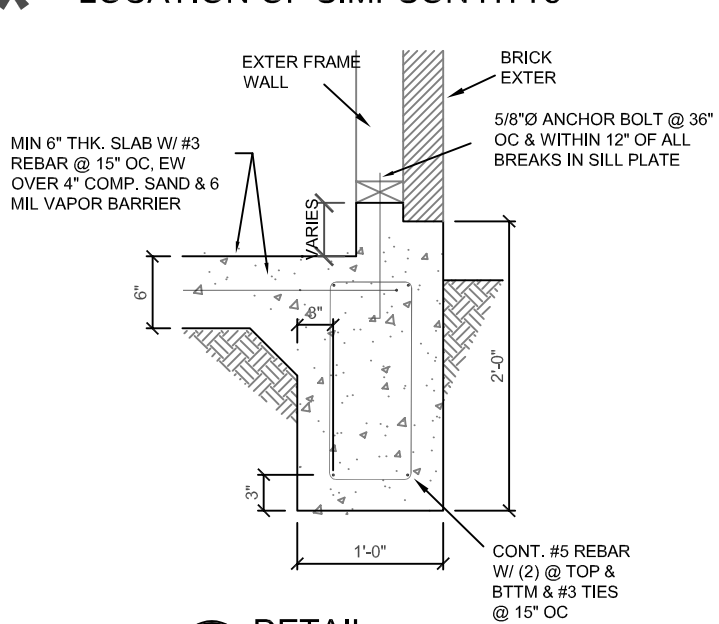


**FOUNDATION PLAN**  
SCALE: 1/8" = 1'-0"

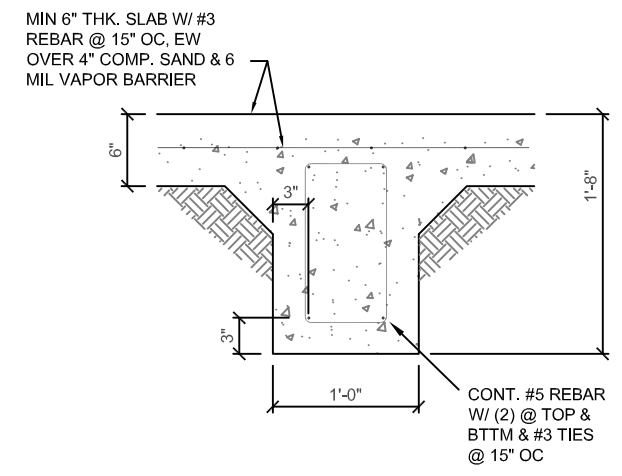
\* = LOCATION OF SIMPSON HTT5



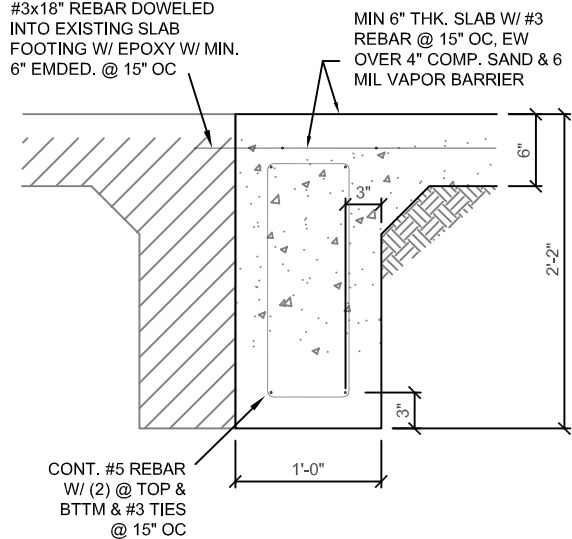
**1 DETAIL**  
SCALE: NTS



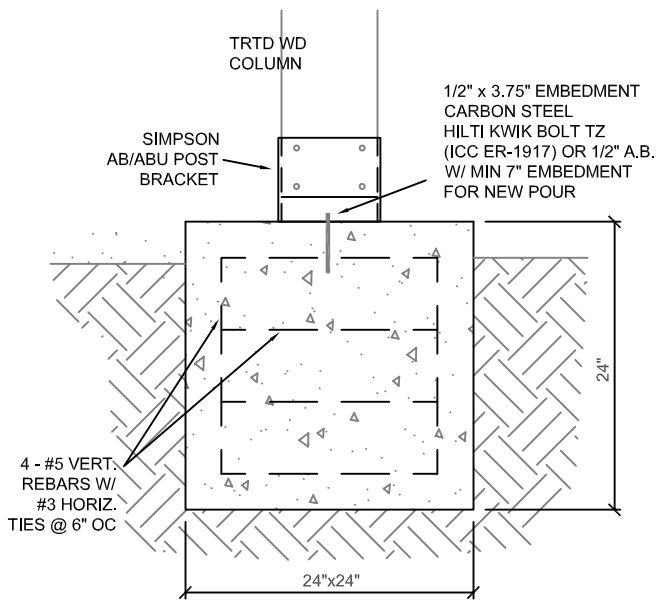
**2 DETAIL**  
SCALE: NTS



**3 DETAIL**  
SCALE: NTS

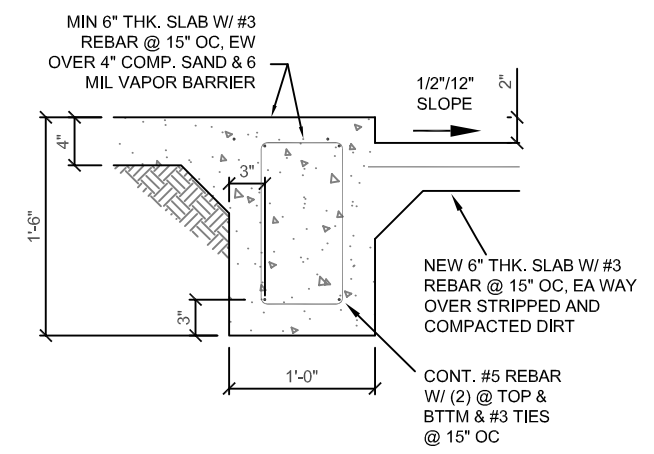


**4 DETAIL**  
SCALE: NTS



**FOOTING DETAIL**  
SCALE: NTS

1. FOOTINGS DESIGN OF FOUNDATION IS BASED ON A MINIMUM SOIL BEARING PRESSURE OF 3500 P.S.F. NET ALLOWABLE BEARING. THIS ENGINEER ACCEPTS NO RESPONSIBILITY FOR VERIFICATION OF ACTUAL-ON SITE SOIL BEARING CAPACITY.
2. EXCAVATION FOR FOOTINGS SHALL BE NEAT AND FREE OF DEBRIS AND STANDING WATER.
3. FOOTINGS SHALL BE POURED IMMEDIATELY AFTER EXCAVATION AND INSPECTION.



**5 DETAIL**  
SCALE: NTS

\* = LOCATION OF SIMPSON HTT5

**DESIGN LOADS:**  
2018 INTERNATIONAL RESIDENTIAL CODE  
2017 NATIONAL ELECTRICAL CODE  
ULTIMATE WIND LOAD DESIGN = 140 MPH  
ROOF LIVE LOAD = 20.0 PSF  
ROOF DEAD LOAD = 10.0 PSF  
FLOOR LIVE LOAD = 40.0 PSF  
FLOOR DEAD LOAD = 10.0 PSF

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Engineer:

**JAMES E. DEAVER JR.**  
96663  
LICENSED PROFESSIONAL ENGINEER

Design Firm Name MEMBER  
**LeiCo AI BD**  
DESIGN  
Creating where people live. AMERICAN INSTITUTE OF BUILDING DESIGN

Contractor Name  
**ALL-TEX**  
HOME IMPROVEMENT SERVICES, LLC

Project Name and Address  
**Noyes Residence**  
8316 Winningham Ln  
Houston, TX 77055

Project: 22-01011	Sheet
Date:	<b>S2</b>
Scale:	

# GENERAL NOTES: WOOD FRAMING

1. LUMBER AND ITS FASTENINGS, SHALL CONFORM TO THE "NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION, LATEST EDITION. FRAMING PRACTICES TO ADHERE TO THE IRC 2018 CODE.

MINIMUM GRADE OF FRAMING MATERIALS (ALL MATERIAL MUST BE GRADE MARKED):

BEAMS AND HEADERS	NO. 2 KD SOUTHERN YELLOW PINE (SYP) S4S
TOP PLATES	NO. 2 KD SOUTHERN YELLOW PINE (SYP) S4S
WALL STUDS	NO. 3 KD SOUTHERN YELLOW PINE (SYP) S4S
SILL PLATES	NO. 3 KD SOUTHERN YELLOW PINE (SYP) S4S
WOOD POSTS	NO. 2 SYP SURFACE GREEN
FLOOR JOISTS	NO. 2 KD SOUTHERN YELLOW PINE (SYP) S4S
ROOF FRAMING	NO. 2 KD SOUTHERN YELLOW PINE (SYP) S4S

HEM FIR, SPRUCE OR OTHER SOFTWOODS SHALL NOT BE USED UNLESS SPECIFICALLY PROVIDED FOR IN THESE DRAWINGS.

\*\* ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED LUMBER. ALL EXTERIOR COLUMNS TO BE PRESSURE TREATED

### BEAM HEADERS

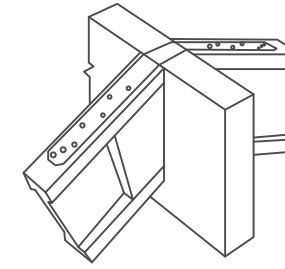
- BEAMS MADE OF MULTI-PLY 2x\_ MATERIAL, EACH PLY MUST BEAR ON THE WALL STUD (EG. INSTALL SAME # OF STUDS UNDER BEAMS AS # OF PLYS IN BEAM)
- ALL BEAMS MADE UP OF A NUMBER OF 2x\_ MATERIAL AND 1/2" CONTINUOUS PLYWOOD FLITCH SHALL BE FASTENED TOGETHER TO ACT AS A UNIT AS FOLLOWS:
  - 2x6 2 ROWS 16d NAILS SPACED @ 9" O.C. STAGGERED
  - 2x8, 2x10 3 ROWS 16d NAILS SPACED @ 9" O.C. STAGGERED
  - 2x12 4 ROWS 16d NAILS SPACED @ 9" O.C. STAGGERED W/ 1/2" DIA BOLTS @ 24" O.C. (W/ STD WASHERS) STAGGERED TOP & BOTTOM
- MINIMUM BEARING OF ANY BEAMING OR HEADER AT ANY STUD WALL IS 3 1/2"
- ALL HEADERS THAT ARE NOT SPECIFIED ON THE PLANS SHALL BE:
  - HEADERS SUPPORTING FLOOR FRAMING 2 PLY - 2x12 #2 SYP
  - HEADERS SUPPORTING CEILING FRAMING 2 PLY - 2x8 #2 SYP

### FASTENING SCHEDULE

CONNECTION	TYPE	NAILING
JOIST TO SILL OR GIRDER	3 - 8d	TOE NAIL
BRIDGING TO JOIST	2 - 8d	TOE NAIL EACH END
SOLE PLATE TO JOIST OR BLOCKING	16d @ 16" o.c.	FACE NAIL
TOP PLATE TO STUD	2 - 16d	END NAIL
STUD TO SOLE PLATE	4 - 8d OR 2 - 16d	TOE NAIL
DOUBLE STUDS	16d @ 16" o.c.	FACE NAIL
DOUBLED TOP PLATES	16d @ 16" o.c.	FACE NAIL
DOUBLE TOP PLATES, LAP SPLICE	8 - 16d	FACE NAIL
JOISTS/RAFTERS BLOCK TO TOP PLATE	3 - 8d	TOE NAIL
RIM JOIST TO TOP PLATE	8d @ 6" o.c.	TOE NAIL
TOP PLATES, LAP AND INTERSECTION	2 - 16d	FACE NAIL
CONTINUOUS HEADER, TWO PIECES	16d @ 16" o.c.	ALONG EACH EDGE
CEILING JOISTS TO PLATE	3 - 8d	TOE NAIL
CONTINUOUS HEADER TO STUD	4 - 16d	TOE NAIL
CEILING JOISTS, LAPS OVER PARTITIONS	3 - 16d	FACE NAIL
CEILING JOISTS TO PARALLEL RAFTERS	3 - 16d	FACE NAIL
RAFTER TO PLATE	3 - 16d	TOE NAIL
1" BRACE TO EACH STUD AND PLATE	2 - 8d	FACE NAIL
BUILT-UP CORNER STUDS	16d @ 24" o.c.	ALONG FACE
BUILT-UP GIRDER AND BEAMS	16d @ 16" o.c.	TOP&BOT STAGGER ENDS AND SPLICES
2" PLANKS	2 - 16d	EACH BEARING
ROOF TRUSS TO PLATE	2 - 16d	TOE NAIL
FLOOR TRUSS TO PLATE	2 - 16d	TOE NAIL
SHEAR PANELS TO BEARING PLATES	12 - 10d	FACE NAIL TOP&BOT
ROOF RAFTERS TO RIDGE, VALLEY	4-16d	TOE NAIL
OR HIP RAFTER	3-16d	FACE NAIL
COLLAR TIES TO FACE OF RAFTER	3-10d	FACE NAIL

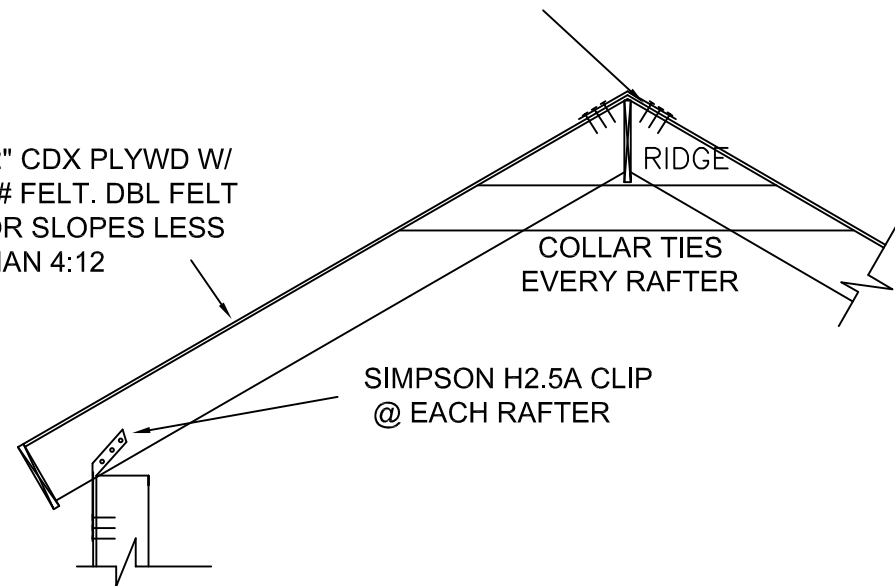
\* ALL NAILS ARE COMMON NAILS

RIDGE TIE REQUIRES SIMPSON LSTA21 STRAP @ 16" O.C. ATTACHED WITH 16-10d NAILS. THE NUMBER OF NAILS ON EACH SIDE OF THE RAFTER/RIDGE JOINT SHALL BE EQUAL. NAILS SHALL BE SPACED TO AVOID SPLITTING OF THE WOOD.



Typical LSTA Installation (hanger not shown)

1/2" CDX PLYWD W/ 30# FELT. DBL FELT FOR SLOPES LESS THAN 4:12



SIMPSON H2.5A CLIP @ EACH RAFTER

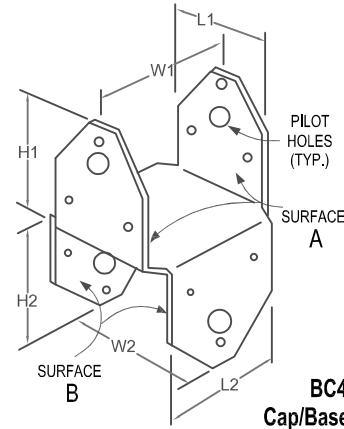
### SECTION

### WOOD STRUCTURAL PANEL ROOF SHEATHING NAILING SCHEDULE

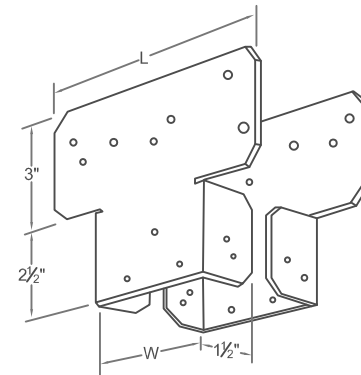
THICKNESS	NAILS	PANEL LOCATION	FASTENING SCHEDULE (inches on center)
1/2" OR LESS	8d COMMON	PANEL EDGE (a)	4
		PANEL FIELD	8
19/32" OR GREATER	10d COMMON	PANEL EDGE (a)	4
		PANEL FIELD	8

- (a) EDGE SPACING ALSO APPLIES OVER ROOF FRAMING AT GABLE END WALLS.
- (b) USE RING-SHANK NAILS WITHIN 48" DISTANCE FROM GABLE END WALLS IF MEAN ROOF HEIGHT IS GREATER THAN 25'.
- (c) ALL NAILS TO BE CORROSION RESISTANT.

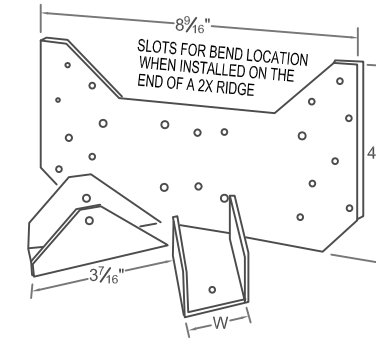
### RECOMMENDED SIMPSON INSTALLATIONS



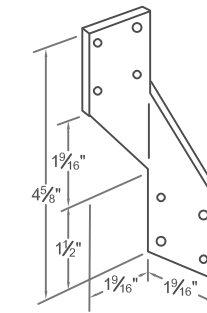
BC4 Cap/Base



AC

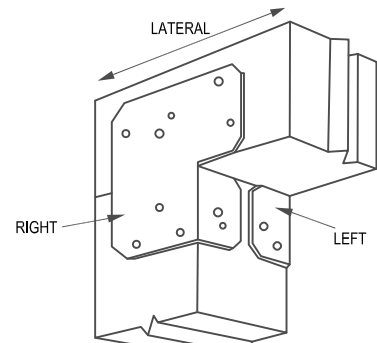
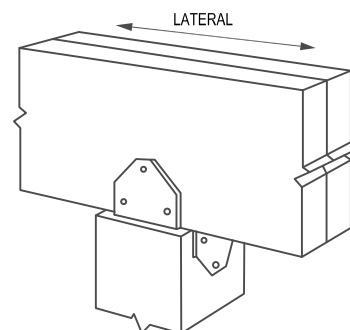


HRC22

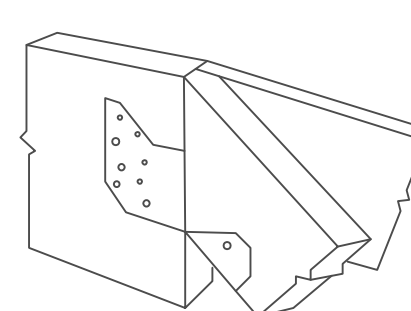


H2.5A

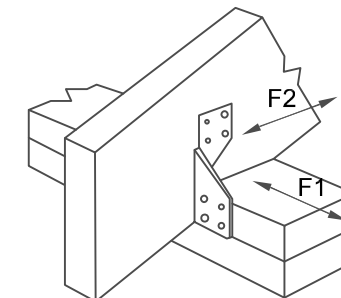
### TYPICAL SIMPSON INSTALLATIONS



Typical ACE Installation



Typical HRC22 Installation on the end of a ridge



H2.5A Installation (Nails into upper top plate)

### DESIGN LOADS:

2018 INTERNATIONAL RESIDENTIAL CODE	
2017 NATIONAL ELECTRICAL CODE	
ULTIMATE WIND LOAD DESIGN = 140 MPH	
ROOF LIVE LOAD = 20.0 PSF	
ROOF DEAD LOAD = 10.0 PSF	
FLOOR LIVE LOAD = 40.0 PSF	
FLOOR DEAD LOAD = 10.0 PSF	

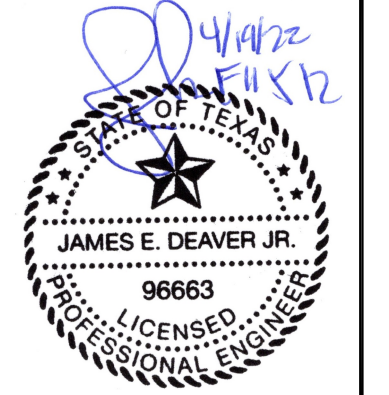
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### TDI INFO:

All products such as doors, windows, shingles, siding, any roof penetration product (ridge vent, roof jacks, roof vents, etc.), etc. must have current TDI approval as stated on the Product evaluation index

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### Engineer:



Project Name and Address  
 Noyes Residence  
 8316 Winningham Ln  
 Houston, TX 77055

Project: 22-01011	Sheet
Date:	S3
Scale:	

## GENERAL NOTES: WOOD FRAMING

### CONNECTORS AND WOOD FASTENERS

- ALL CONNECTIONS AND WOOD FASTENERS SHALL CONFORM TO THE "NATIONAL SPECIFICATION (NDS) FOR WOOD CONSTRUCTION, LATEST EDITION.
- HOLDDOWNS, STRAPS AND HURICANE CLIPS SHALL BE INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS.
- CONNECTORS SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC. OR APPROVED EQUAL. NAIL ALL NAIL HOLES.
- PROVIDE BASE AND CAP CONNECTORS AT ALL COLUMNS 4"x4" OR LARGER, AS FOLLOWS:  
COLUMN BASE CONNECTOR: AC SERIES  
COLUMN CAP CONNECTOR: AC SERIES (OR ACE AT BEAM ENDS)  
USE APPLICABLE COLUMN/BEAM MODEL NUMBERS.
- WHERE REQUIRED, JOIST HANGERS SHALL BE 16ga. GALVANIZED "U" STANDARD JOIST HANGERS, APPLICABLE TO CORRESPONDING SIZE, INCLUDING DOUBLE AND TRIPLE JOIST.
- WHERE REQUIRED, BEAM/PURLIN HANGERS SHALL BE 12ga. GALVANIZED, "B-SERIES" APPLICABLE TO CORRESPONDING SIZE.
- AT ALL EXTERIOR STUD WALL SILL PLATES AND WALLS ON CONCRETE CURBS, PROVIDE 1/2" DIAMETER ANCHOR BOLTS AT 4'-0" O.C. SPACING AND AT 12" MAXIMUM FROM EACH END UNLESS SPECIFIED OTHERWISE. PROVIDE 2 BOLTS PER SECTION OF WALL, MINIMUM. ANCHOR BOLTS SHALL BE 12" LONG, ASTM A-307.
- WHERE CALLED OUT, ALL THROUGH BOLTS SHALL BE ASTM A-307. PROVIDED STANDARD WASHERS AT ALL WOOD SURFACES.
- ALL BOLTS, NUTS, WASHER, NAILS, AND OTHER FASTENERS EXPOSED TO THE WEATHER SHALL BE HOT DIPPED GALVANIZED.

### STUD WALLS

- STUDS SHALL BE AS FOLLOWS:  
2"x4" @ 16" AT ALL FLOORS IN ONE AND TWO STORY STRUCTURES.
- PROVIDE A MINIMUM OF TWO (2) STUDS AT EACH SIDE OF OPENINGS LARGER THEN 4'-0", FULL HEIGHT OF WALL (KING STUDS).
- MAXIMUM STUD WALL HEIGHTS SHALL BE AS FOLLOWS:  
2x4 STUDS @ 16" O.C. 10'-0"  
2x6 STUDS @ 16" O.C. 13'-0"  
2x8 STUDS @ 16" O.C. 16'-0"
- BLOCKING AND LATERAL BRACING:  
A. PROVIDE BLOCKING AND/OR TEMPORARY CROSS BRACING AS REQUIRED TO ENSURE STUD STRAIGHTNESS ACCORDING TO SPECIFIED TOLERANCES.  
B. MAXIMUM TOLERANCE FOR STUD STRAIGHTNESS IN EITHER DIRECTION A 1/4 INCH PER TEN (10) FEET OF STUD LENGTH.  
C. MINIMUM BLOCKING:  
1 ROW FOR STUD HEIGHT UP TO 9'-0"  
2 ROWS FOR STUD HEIGHT UP TO 15'-0"  
3 ROWS FOR STUD HEIGHT over 15'-0"
- PROVIDE SOLID STUD PACKS AT ALL REACTION POINTS FOR BEAMS AND GIRDERS. PROVIDE 2X CRIPPLES (BETWEEN LOWER WALL TOP PLATE AND UPPER WALL BOTTOM PLATE) TO MATCH THE STUD PACKS WHEN REACTION POINTS DO NOT ALIGN WITH END VERTICALS OF FLOOR TRUSSES. THE STUD PACKS AND CRIPPLES SHALL PROVIDE A CONTINUOUS LOAD PATH TO THE FOUNDATION
- EXTERIOR WALLS AT VAULTED CEILINGS SHALL BE BALLOON FRAMED. (CONTINUOUS FROM FLOOR TO ROOF WITH NO SPLICES IN BETWEEN)
- ALL INTERIOR FRAMED WALLS 9' AND HIGHER SHALL HAVE MINIMUM 2x BLOCKING AT MID HEIGHT BETWEEN TOP AND BOTTOM PLATES.
- ALL STUD WALLS SHALL BE Laterally BRaced BY PLYWOOD OR GYPSUM SHEATHING.

### PARALLEL STRAND & GLULAM LUMER:

- ALL GLUE LAMINATED MEMBERS SHALL BE FABRICATED FROM DOUGLAS FIR OR SOUTHERN YELLOW PINE. GLULAM MEMBERS SHALL HAVE THE FOLLOWING MINIMUM DESIGN STRESS VALUES  
Fb = 2400 PSI.  
Fv = 270 PSI.  
E = 1,800,000 PSI.  
SIMPLY SUPPORTED GLULAM BEAMS MAY BE CAMBERED TO REMOVE DEAD LOAD DEFLECTION. CANTILEVERED AND CONTINUOUS BEAMS SHALL NOT BE CAMBERED.
- PSL MEMBERS SHALL HAVE THE FOLLOWING MINIMUM DESIGN STRESS VALUES:  
Fb = 2900 PSI.  
Fv = 285 PSI.  
E = 2,000,000 PSI.
- LVL BEAMS THAT HAVE EQUAL OR GREATER SIZE THAN PSL BEAMS SPECIFIED, AND MEET PSL REQUIREMENTS MAY BE SUBSTITUTED FOR PSL BEAMS.
- ALL PARALLEL STRAND & GLULAM MEMBERS SHALL BE PROTECTED FROM THE WEATHER WHILE IN STORAGE. CARE SHALL BE EXERCISED DURING HANDLING TO PREVENT DAMAGE TO THE SAME.
- ALL PARALLEL STRAND & GLULAM MEMBERS SHALL BE INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS.

### DECKING AND SHEATHING

- ROOF DECKING SHALL BE 1/2" MINIMUM THICKNESS, CDX PLYWOOD. ORIENTED STRAND BOARD (OSB) MAY BE USED IN LIEU OF PLYWOOD. APPLY 4' x 8' SHEETS WITH W/ 4'-0" OFFSET JOINTS. MINIMUM NAILING SHALL BE AS NOTED IN THE NAILING SCHEDULE. PLYWOOD CLIPS SHALL BE INSTALLED AT ROOF DECKING TO RESULT IN A 1/8" GAP BETWEEN ALL PANEL EDGES. PROVIDE 1 CLIP PER SPAN (RAFTER SPACING). CLIPS SHALL BE SIMPSON PSCL OR APPROVED EQUAL, TO MATCH CORRESPONDING PLYWOOD THICKNESS.
- FLOOR DECKING TO BE 3/4" APA RATED T&G LONG SIDES SHEATHING, 48/24 SPAN RATING, EXPOSURE 1, SUB-DECK W/ 4'-0" OFFSET JOINTS AND 1/2" PLYWOOD FINISH DECK SET PERPENDICULAR W/ 4'-0" OFFSET JOINTS. (ALTERNATE: 1 1/8" "STURDI-FLOOR", OR EQUAL) ALL FLOOR DECKING TO BE GLUED ADEQUATELY TO JOIST. MINIMUM NAILING SHALL BE AS NOTED IN NAILING SCHEDULE AND AS PER MANUFACTURERS SPECS.
- WOOD STRUCTURAL PANELS FOR EXTERIOR WALLS SHALL BE 15/32" OR 7/16" THICK APA RATED SHEATHING, 32/16 SPAN RATING, C-D EXT. MINIMUM NAILING SHALL BE AS NOTED IN THE SHEAR WALL & NAILING SCHEDULE.
- PROVIDE 1/8" GAP AT ALL PLYWOOD PANEL EDGES AND END JOINTS UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. DUE TO CONSTRUCTION CONDITIONS, TEMPORARY EXPANSION JOINTS MAY BE REQUIRED IN FLOOR/ROOF SHEATHING.
- GYPSUM SHEATHING FOR SHEARWALLS SHALL BE 5/8" THICK AND FREE FROM IMPERFECTIONS AND CONFORM TO ASTM C79 SPECIFICATIONS. MINIMUM NAILING SHALL BE AS NOTED IN THE SHEAR WALL & NAILING SCHEDULE. ALL PANEL EDGES SHALL BE BLOCKED WITH 2x NOMINAL MEMBERS.

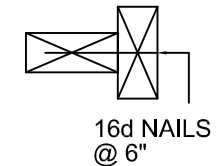
### DETAIL KEYED NOTES

- 1 RIDGE BEAM, HIP, RAFTER, OR VALLEY RAFTER**  
DEPTH SHALL BE THE LARGER OF THE FOLLOWING:  
A. ONE SIZE DEEPER THAN THE LARGEST RAFTER FRAMING INTO IT (2 x LUMBER)  
B. DEPTH OF CUT END OF RAFTER.
- 2 COLLAR TIES**  
2x6 LOCATED @ UPPER ONE THIRD (1/3) OF ROOF @ EVERY RAFTER.  
ATTACH WITH 6-10d NAILS.
- 3 T-BRACE**  
A. RE: TYPICAL DETAILS BELOW  
B. MAXIMUM SPACING AS FOLLOWS:  
4'-0" @ 2x4 CONT. PURLIN  
6'-0" @ RIDGE BEAM, HIP OR VALLEY RAFTER  
C. BRACE SHALL BEAR ON AN INTERIOR WALL, BEAM OR STRONG-BACK (DOUBLE, 2 SIZES LARGER THAN JOIST) RE: FRAMING PLAN.
- 4 RAFTER & RIDGE SPLICES**  
A. LOCATE SPLICE OVER A KNEE WALL, OR PROVIDE ADDITIONAL BRACE @ SPLICE  
B. MINIMUM LAP = 12" NAIL W/ 4-16d NAILS.

### TYPICAL "T" BRACE DETAIL

#### SIZE OF EA. MEMBER

LENGTH UP TO 8'-0" = 2x4  
LENGTH UP TO 12'-0" = 2x6  
LENGTH > 12'-0" = 2x6 w/ 2x4  
CONT. @ 6'-0" MAXIMUM SPACING  
BRACED DIAGONALLY TO CEILING



### VALLEY FRAMING NOTES

FOR VALLEY FRAMING AT ROOFS OR OTHER CONVENTIONAL ROOF FRAMING, CONTRACTOR SHALL PROVIDE 2x FRAMING IN ACCORDANCE WITH ROOF RAFTER TABLES IN ACCORDANCE WITH THE IRC 2018 CODE.

ALL VALLEY FRAMING TO BE MINIMUM #2 S.Y.P. W/MILL APPLIED GRADING MARKS.

\*\* SUPPORTING FRAMING MEMBERS MUST BE SHEATHED OR PROVIDE 2 X 4 PURLINS AT 24" O.C. ON THE TOP EDGE OF THE SUPPORTING FRAMING MEMBERS UNDER THE OVERLAY FRAMING. CONNECT PURLINS TO EACH FRAMING MEMBER WITH 2 - 16 d NAILS.

VALLEY RAFTER SPACING NOT TO EXCEED 16" O.C. PROVIDE 2x4 POSTS SPACED A MAXIMUM OF 32" AT ALL VALLEY RAFTERS. ATTACH VALLEY RAFTER TO RIDGE BEAM WITH 3-10d TOE NAILS  
ATTACH VALLEY RAFTER TO POST WITH 4-10d NAILS  
FOR POSTS EXCEEDING 75" IN LENGTH, TWO 2 X 4 MEMBERS NAILED TOGETHER WITH ONE ROW OF 10d NAILS @ 9" O.C. SPACING ARE REQUIRED.

### DESIGN LOADS:

2018 INTERNATIONAL RESIDENTIAL CODE  
2017 NATIONAL ELECTRICAL CODE  
ULTIMATE WIND LOAD DESIGN = 140 MPH  
ROOF LIVE LOAD = 20.0 PSF  
ROOF DEAD LOAD = 10.0 PSF  
FLOOR LIVE LOAD = 40.0 PSF  
FLOOR DEAD LOAD = 10.0 PSF

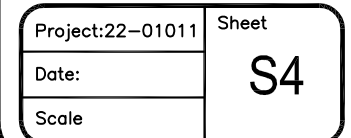
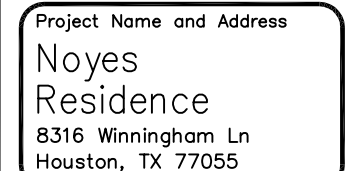
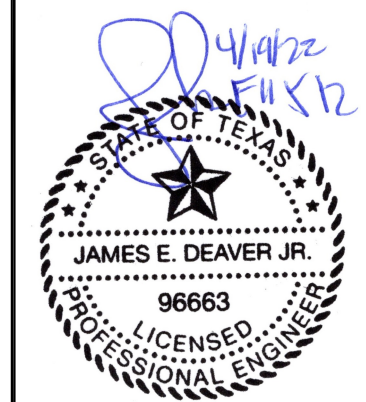
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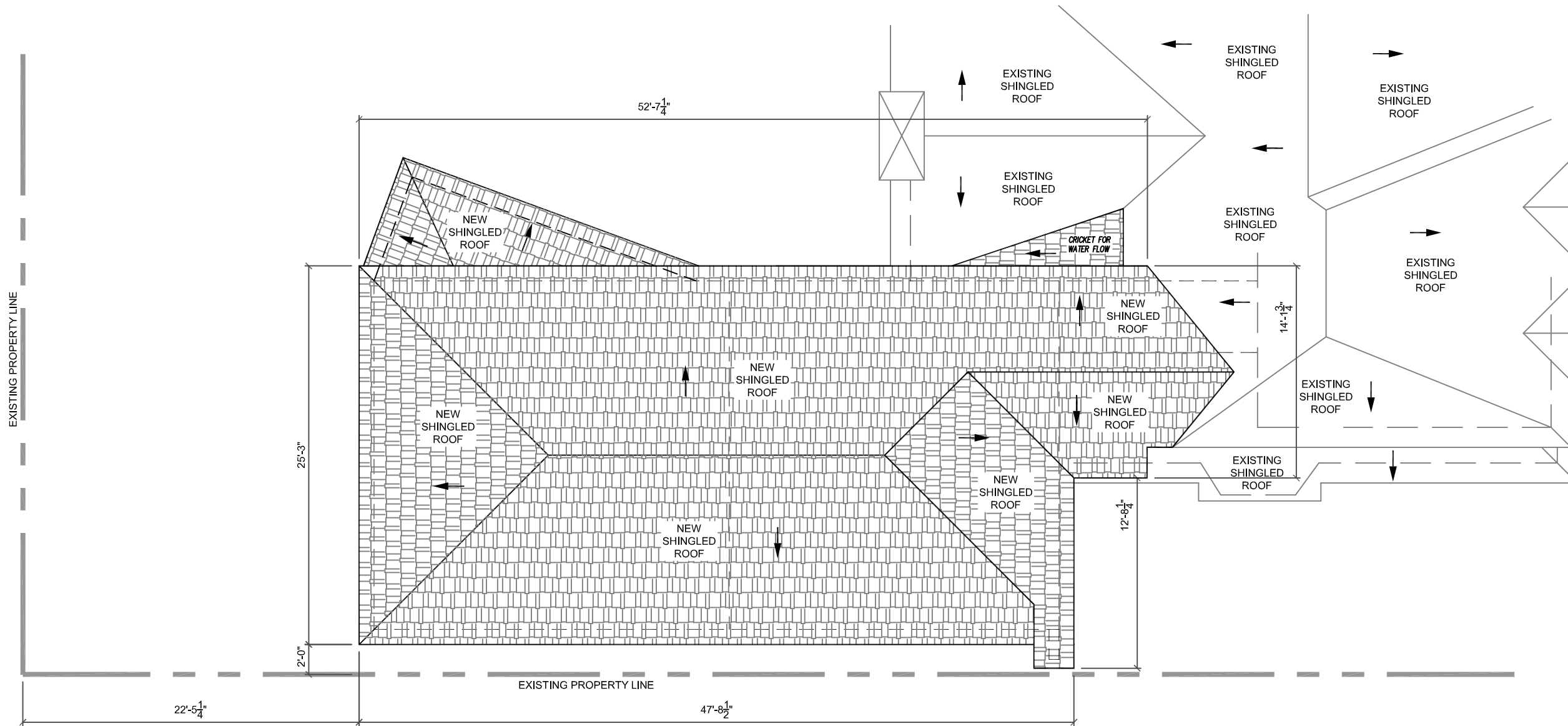
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### Engineer:





PROPOSED ROOF LAYOUT  
SCALE: 1/8" = 1'-0"

**DESIGN LOADS:**

2018 INTERNATIONAL RESIDENTIAL CODE  
2017 NATIONAL ELECTRICAL CODE  
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ROOF DEAD LOAD = 10.0 PSF  
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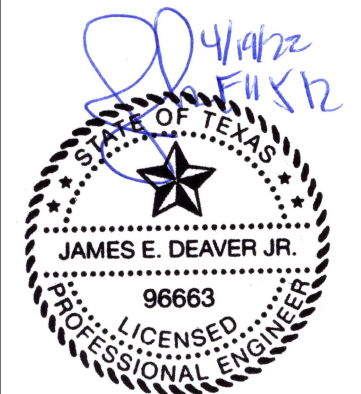
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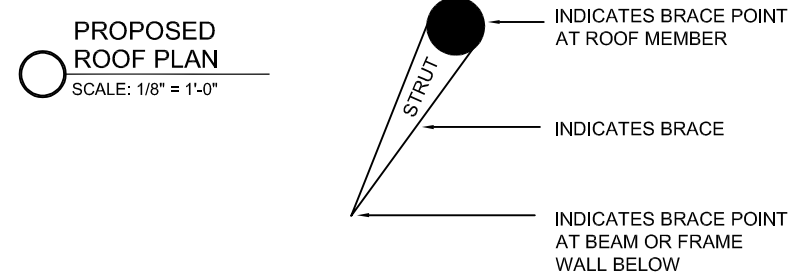
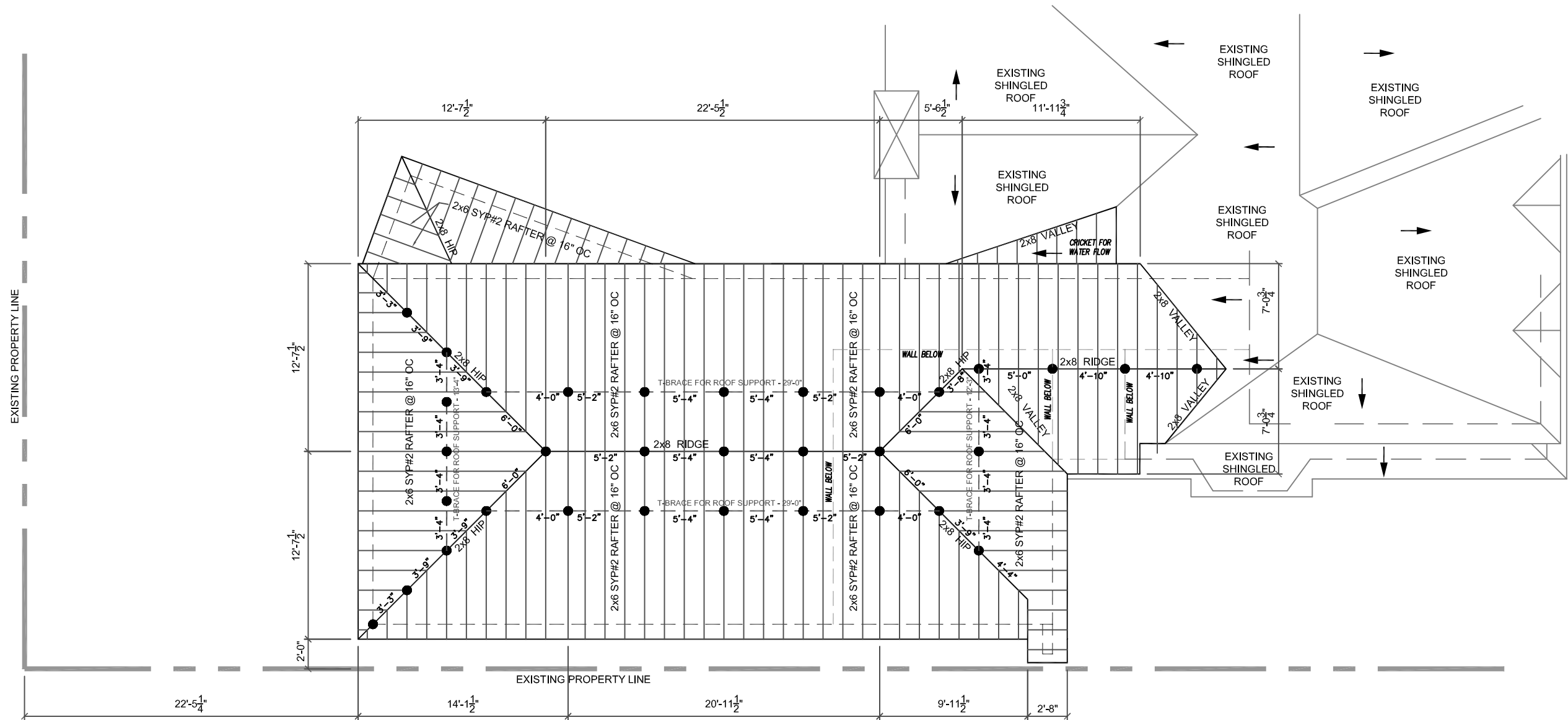
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**Engineer:**



Project Name and Address  
Noyes Residence  
8316 Winningham Ln  
Houston, TX 77055

Project: 22-01011	Sheet
Date:	S5
Scale:	



**DESIGN LOADS:**

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 2017 NATIONAL ELECTRICAL CODE  
 ULTIMATE WIND LOAD DESIGN = 140 MPH  
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 ROOF DEAD LOAD = 10.0 PSF  
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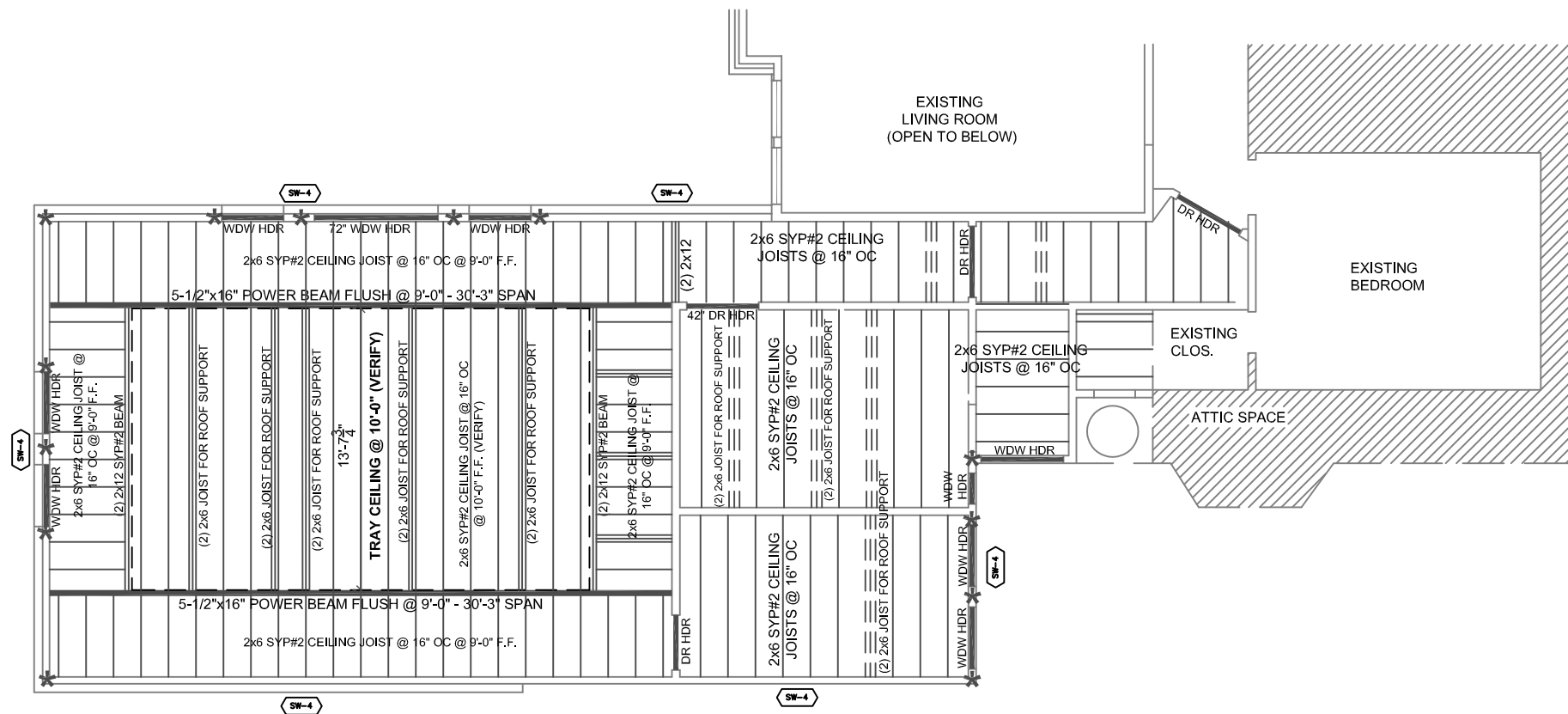
Engineer:

Design Firm Name MEMBER  
**LeiCo AI**  
**DESIGN BD**  
 Creating where people live. AMERICAN INSTITUTE OF BUILDING DESIGN

Contractor Name  
**ALL-TEX**  
 HOME IMPROVEMENT SERVICES, LLC

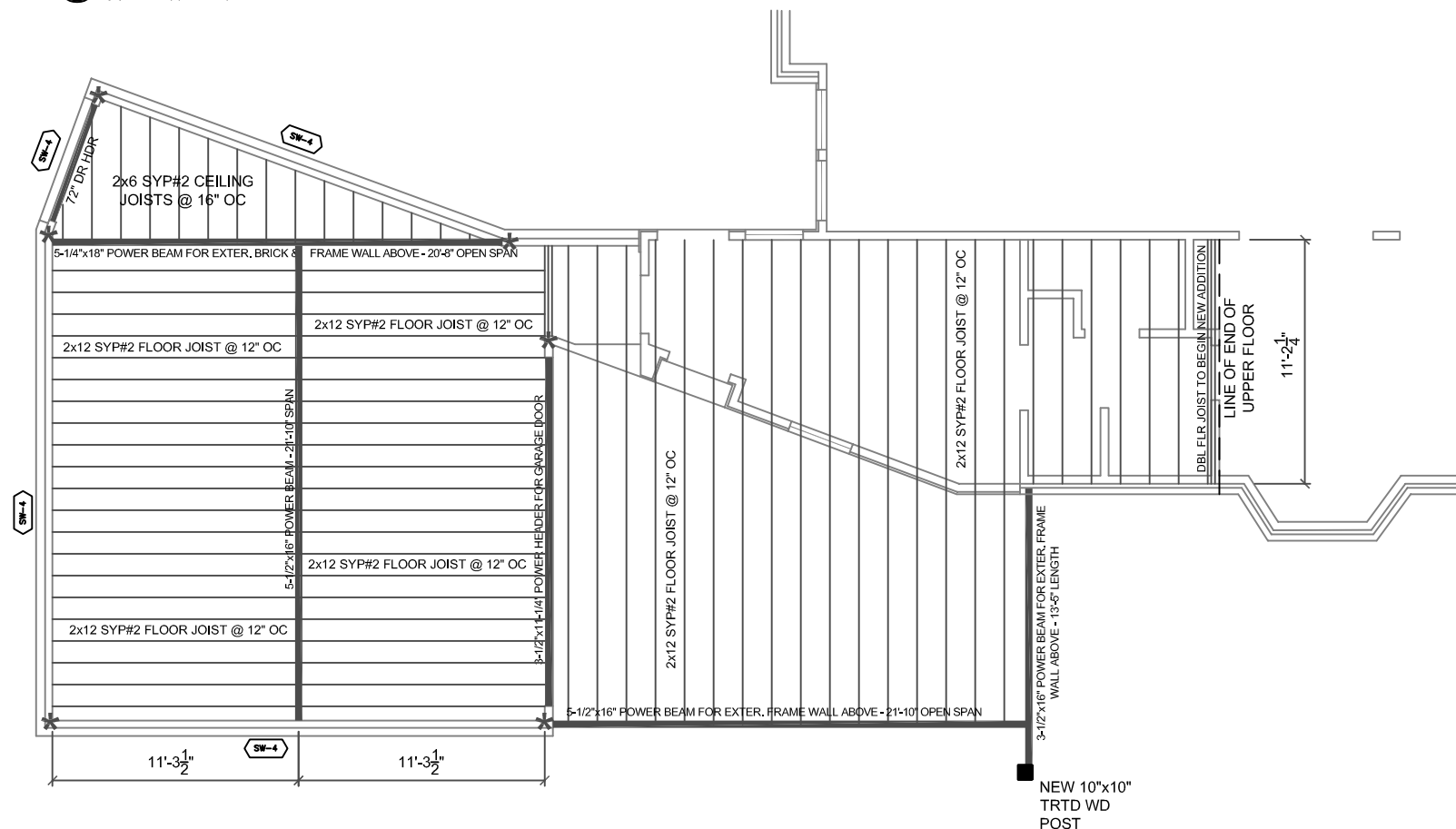
Project Name and Address  
 Noyes Residence  
 8316 Wunningham Ln  
 Houston, TX 77055

Project:22-01011	Sheet
Date:	<b>S6</b>
Scale	



**SECOND FLOOR FRAMING PLAN**

SCALE: 1/8" = 1'-0"



**GARAGE / FIRST FLOOR FRAMING PLAN**

SCALE: 1/8" = 1'-0"

\* = LOCATION OF SIMPSON HTT5

**NOTES:**

- ALL EXTERIOR SHEATHING TO BE NAILED WITH, 7/16" OSB OR 1/2" CDX SHEATHING ATTACH WITH 8d NAIL. (SEE NAILING SCHEDULE) WHERE CDX IS NOT REQUIRED BY PROGRAM OR JURISDICTION, OSB MAY BE SUBSTITUTED FOR CDX.
- 1/2" DRYWALL NAILED WITH 5d NAILS" 6" O.C. EDGE NAILING AND 10 O.C. FIELD NAILING U.N.O.
- PROVIDE BLOCKING AT ALL SHEATHING EDGES. PROVIDE DOUBLE STUDS OR 4x4 MEMBERS @ EACH END OF SHEAR WALL. SEE SHEARWALL SCHEDULE FOR NAILING PATTERN.
- SHEAR WALL NAILS MUST PENETRATE MINIMUM 2 3/8" INTO FRAMING MEMBER. MINIMUM NAIL LENGTH IS SHEATHING THICKNESS PLUS 2 3/8". MINIMUM SHAFT DIAMETER: 0.128 FOR 130 MHP, 3 SEC. GUST. 0.120 FOR 120 MHP, 3 SEC. GUST OR LESS.
- THE FLOOR DIAPHRAGM SHALL BE A MIN. OF 3/4" STRUCTURAL GRADE PLYWOOD & ROOF DIAPHRAGM SHALL BE A MIN. OF 5/8" CDX. BOTH DIAPHRAGMS SHALL BE PLACED WITH 10d NAILS AT A MIN. OF 6" AT ALL EXTERIOR EDGES.
- SW-4 - INDICATES SHEAR WALL TYPE AND LOCATION SEE SCHEDULE ABOVE.
- SEE SHEAR WALL DETAIL SHEET FOR ADDITIONAL NOTES AND DETAILS.
- IF NO SHEAR WALL TYPE IS LISTED, USE SW-4.
- REFER TO CORROSION REQUIREMENTS FOR NAILS.

SHEARWALL SCHEDULE		PANEL NAILING SPACING INCHES		DRYWALL NAIL SPACING INCHES	
TYPE	SHEATHING	EDGE	FIELD	EDGE	FIELD
SW-6	2x4 SYP TOP & BOTTOM PLATE, SYP STUDS @ 16" O.C. 1/2" CDX SHEATHING (BLOCKED ALL JOINTS)	6	8		
SW-6d	2x4 SYP TOP & BOTTOM PLATE, SYP STUDS @ 16" O.C. 1/2" CDX SHEATHING (BLOCKED ALL JOINTS) INT. FACE: 1/2" DRYWALL (UNBLOCKED)	6	8	6	8
SW-4	2x4 SYP TOP & BOTTOM PLATE, SYP STUDS @ 16" O.C. 1/2" CDX SHEATHING (BLOCKED ALL JOINTS)	4	8		
SW-4d	2x4 SYP TOP & BOTTOM PLATE, SYP STUDS @ 16" O.C. 1/2" CDX SHEATHING (BLOCKED ALL JOINTS) INT. FACE: 1/2" DRYWALL (UNBLOCKED)	4	8	6	8
SW-3	2x4 SYP TOP & BOTTOM PLATE, SYP STUDS @ 16" O.C. 1/2" CDX SHEATHING (BLOCKED ALL JOINTS)	3	8		
SW-3d	2x4 SYP TOP & BOTTOM PLATE, SYP STUDS @ 16" O.C. 1/2" CDX SHEATHING (BLOCKED ALL JOINTS) INT. FACE: 1/2" DRYWALL (UNBLOCKED)	3	8	6	8

**DESIGN LOADS:**

2018 INTERNATIONAL RESIDENTIAL CODE  
 2017 NATIONAL ELECTRICAL CODE  
 ULTIMATE WIND LOAD DESIGN = 140 MPH  
 ROOF LIVE LOAD = 20.0 PSF  
 ROOF DEAD LOAD = 10.0 PSF  
 FLOOR LIVE LOAD = 40.0 PSF  
 FLOOR DEAD LOAD = 10.0 PSF

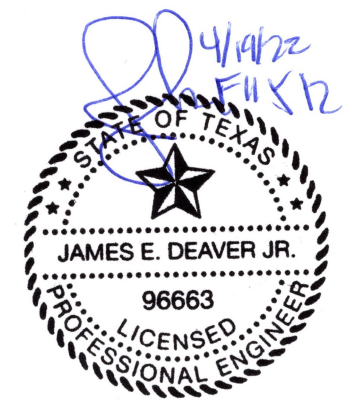
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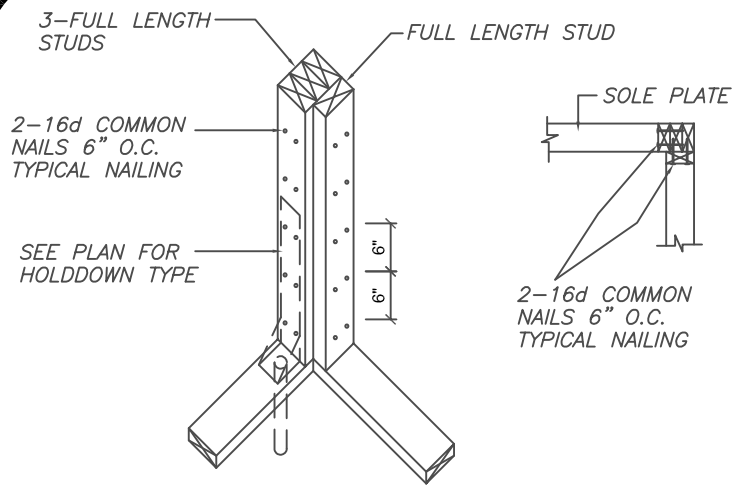
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**Engineer:**

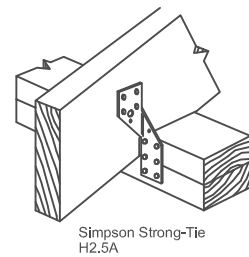


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 8316 Wunningham Ln  
 Houston, TX 77055

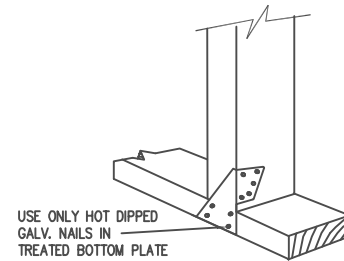
Project: 22-01011 Sheet  
 Date: S7  
 Scale:



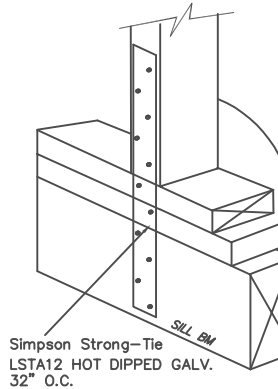
**1 CORNER STUD PACK**  
 FOR NON-CORNER STUD PACKS, USE TWO NAILS @ 12" O.C. 8d NAILS FOR DOUBLE STUDS, 16d NAILS FOR TRIPLE STUDS.



**2 H2.5A RAFTER TO TOP PLATE**  
 NOTE:  
 DBL @ GIRDER OR BEAMS THAT SUPPORT OTHER MEMBERS  
 CLIPS AND STRAPS TO BE 32" O.C.



**3 H2.5A TO BOTTOM PLATE**  
 NOTE:  
 1. INSTALL ON SAME SIDE OF BOTTOM PLATE AS MAS IF USED FOR ANCHORS  
 2. DBL H2.5 @ COLUMNS SUPPORTING BEAMS OR GIRDERS  
 CLIPS AND STRAPS TO BE 32" O.C.



**4 SIMPSON LSTA12 STRAP**

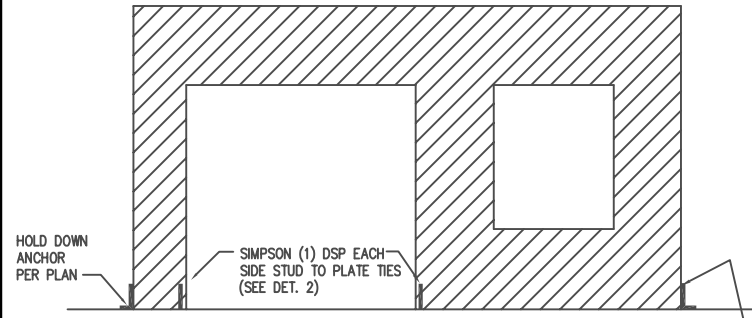
**DESIGN LOADS:**  
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 2017 NATIONAL ELECTRICAL CODE  
 ULTIMATE WIND LOAD DESIGN = 140 MPH  
 ROOF LIVE LOAD = 20.0 PSF  
 ROOF DEAD LOAD = 10.0 PSF  
 FLOOR LIVE LOAD = 40.0 PSF  
 FLOOR DEAD LOAD = 10.0 PSF

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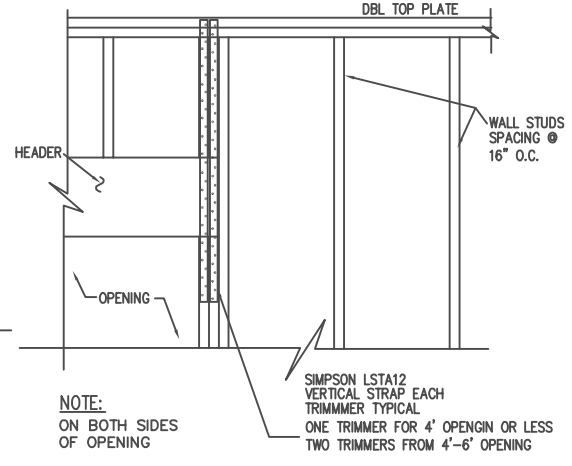
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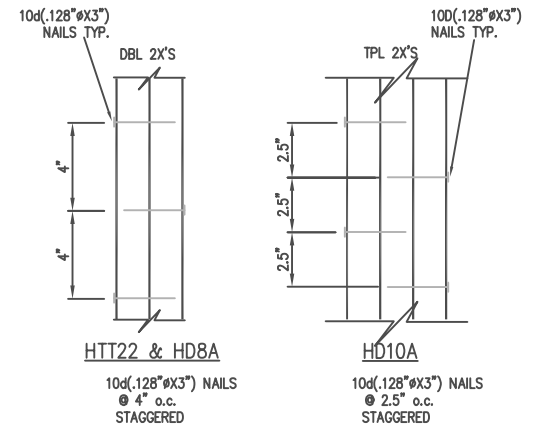
Plans do not include TDI Windstorm Inspections and Filing. If WPI-8 is desired, engineer to be notified prior to installation of concrete, cover up of framing and roof decking, and prior to project completion in order to perform inspection for Windstorm



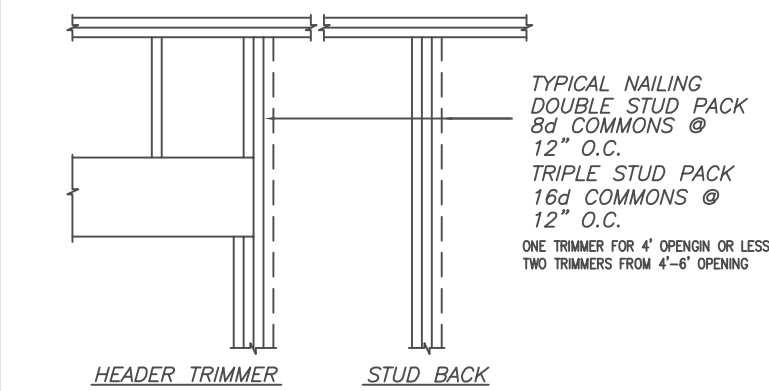
**5 SHEAR WALL OPENING ELEVATION**



**6 HEADER STRAP DETAIL**  
 NOTE:  
 ON BOTH SIDES OF OPENING  
 SIMPSON LSTA12 VERTICAL STRAP EACH TRIMMER TYPICAL  
 ONE TRIMMER FOR 4' OPENING OR LESS  
 TWO TRIMMERS FROM 4'-6' OPENING

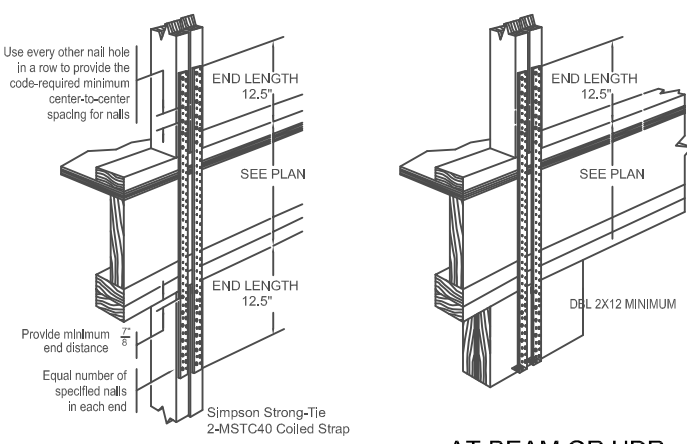


**7 2X FASTENING @ SHEAR WALL ENDS AND @ GARAGE DOORS CRIPPLES**

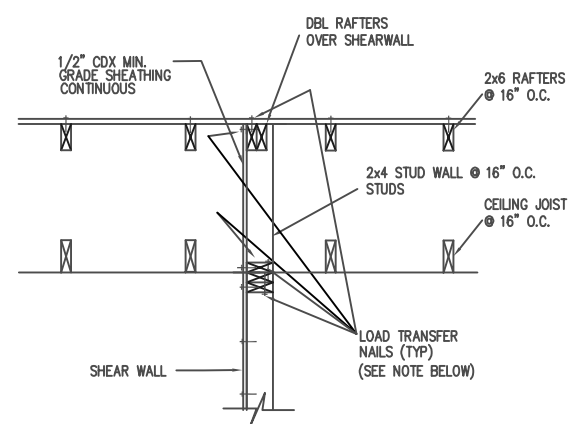


**8 STUD PACK NAILING DOORS/WINDOWS AND POINT LOADS**

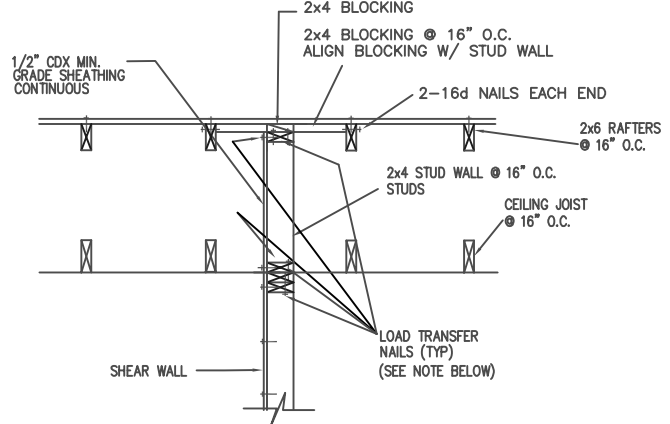
Engineer:



**9 (UNLESS NOTED OTHERWISE) END OF SHEAR WALL BETWEEN 1st & 2nd FLOORS**



**10 SHEAR TRANSFER PANEL ROOF DECK TO SHEAR WALL ALIGN RAFTER WITH SHEAR WALL**  
 NOTE: SIZE & SPACING OF THE LOAD TRANSFER NAILS TO BE THE SAME AS SHEAR WALL BELOW.



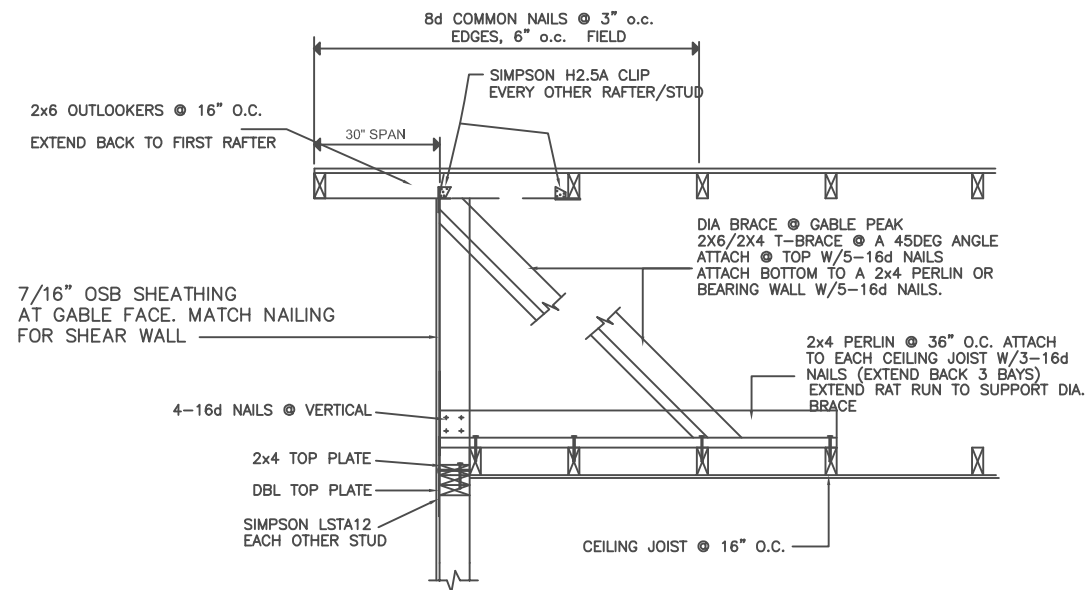
**11 SHEAR TRANSFER PANEL ROOF DECK TO SHEAR WALL ALT. BLOCKING BETWEEN RAFTERS**  
 NOTE: SIZE & SPACING OF THE LOAD TRANSFER NAILS TO BE THE SAME AS SHEAR WALL BELOW.

Design Firm Name MEMBER  
**LeiCo AI BD**  
 DESIGN  
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 AMERICAN INSTITUTE OF BUILDING DESIGN

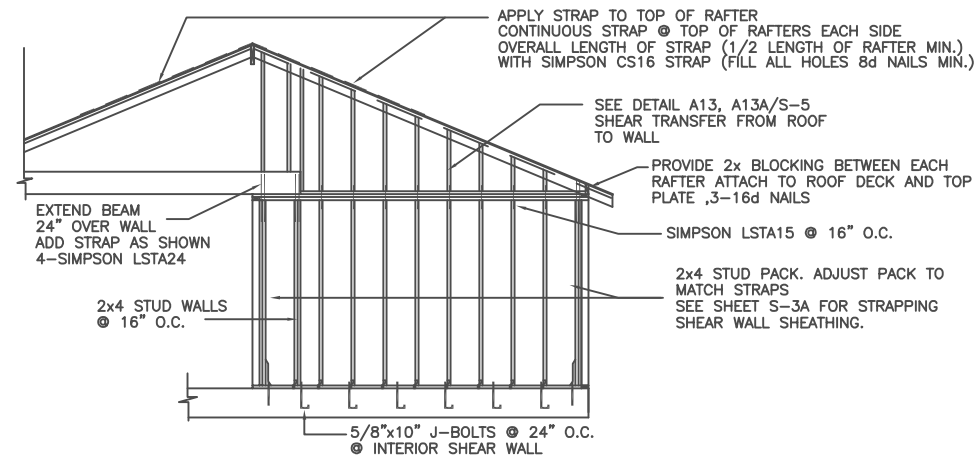
Contractor Name  
**ALL-TEX**  
 HOME IMPROVEMENT SERVICES, LLC

Project Name and Address  
 Noyes Residence  
 8316 Wunningham Ln  
 Houston, TX 77055

Project: 22-01011 Sheet  
 Date: S8  
 Scale:

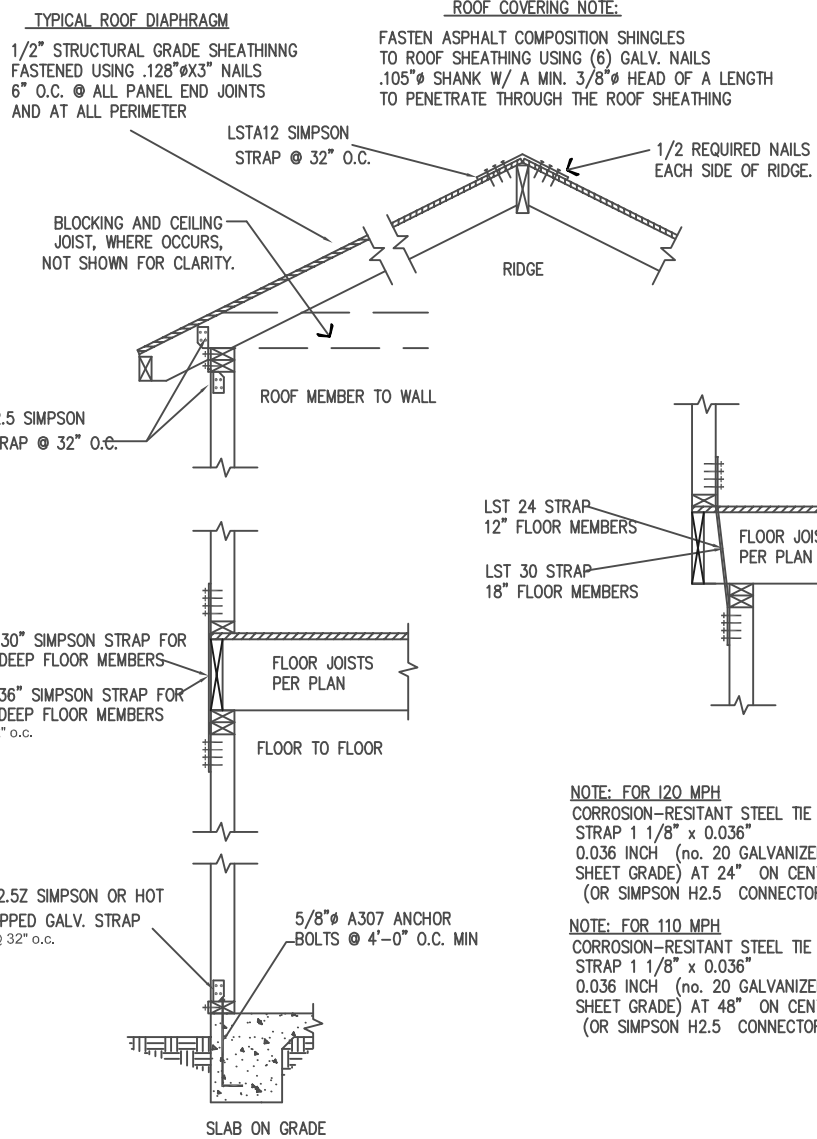


**12** TYPICAL GABLE END BRACING

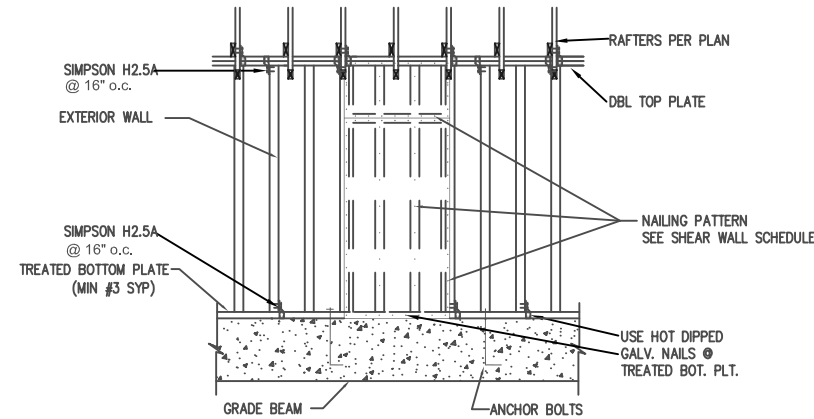


**13** INTERIOR SHEAR WALL TRANSFER TO FLOOR WITH FLOOR JOISTS PARALLEL TO SHEARWALL

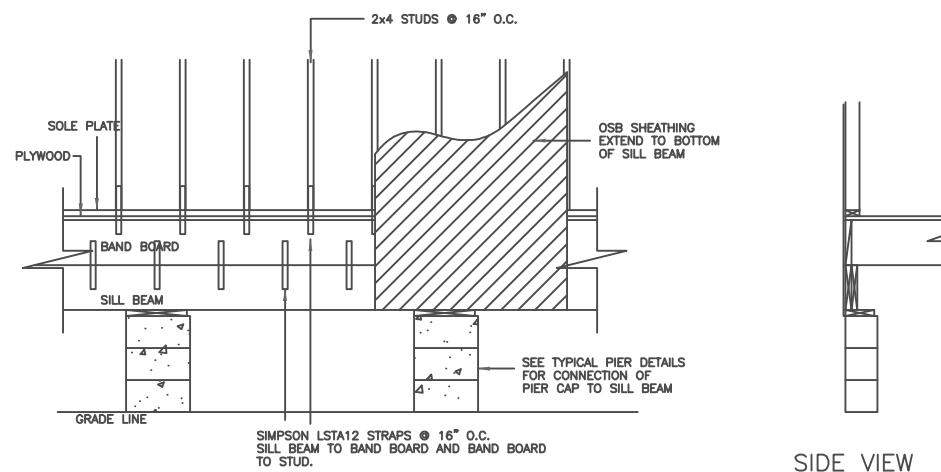
NOTE: SIZE & SPACING OF THE LOAD TRANSFER NAILS TO BE THE SAME AS SHEAR WALL BELOW.



**14** SECTION



**15** EXTERIOR WALL DETAIL WITH FULL SHEATHING CLIPS AND STRAPS TO BE 16\"/>



**15** CRAWL SPACE FRAME EXTERIOR WALL DETAIL WITH FULL SHEATHING CLIPS AND STRAPS TO BE 16\"/>

**DESIGN LOADS:**

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 2017 NATIONAL ELECTRICAL CODE  
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 ROOF DEAD LOAD = 10.0 PSF  
 FLOOR LIVE LOAD = 40.0 PSF  
 FLOOR DEAD LOAD = 10.0 PSF

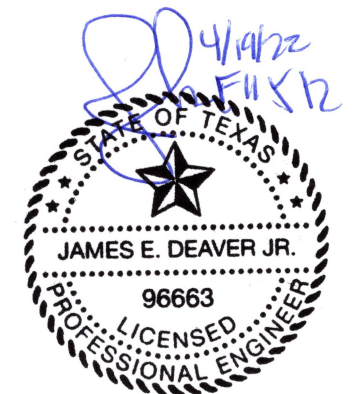
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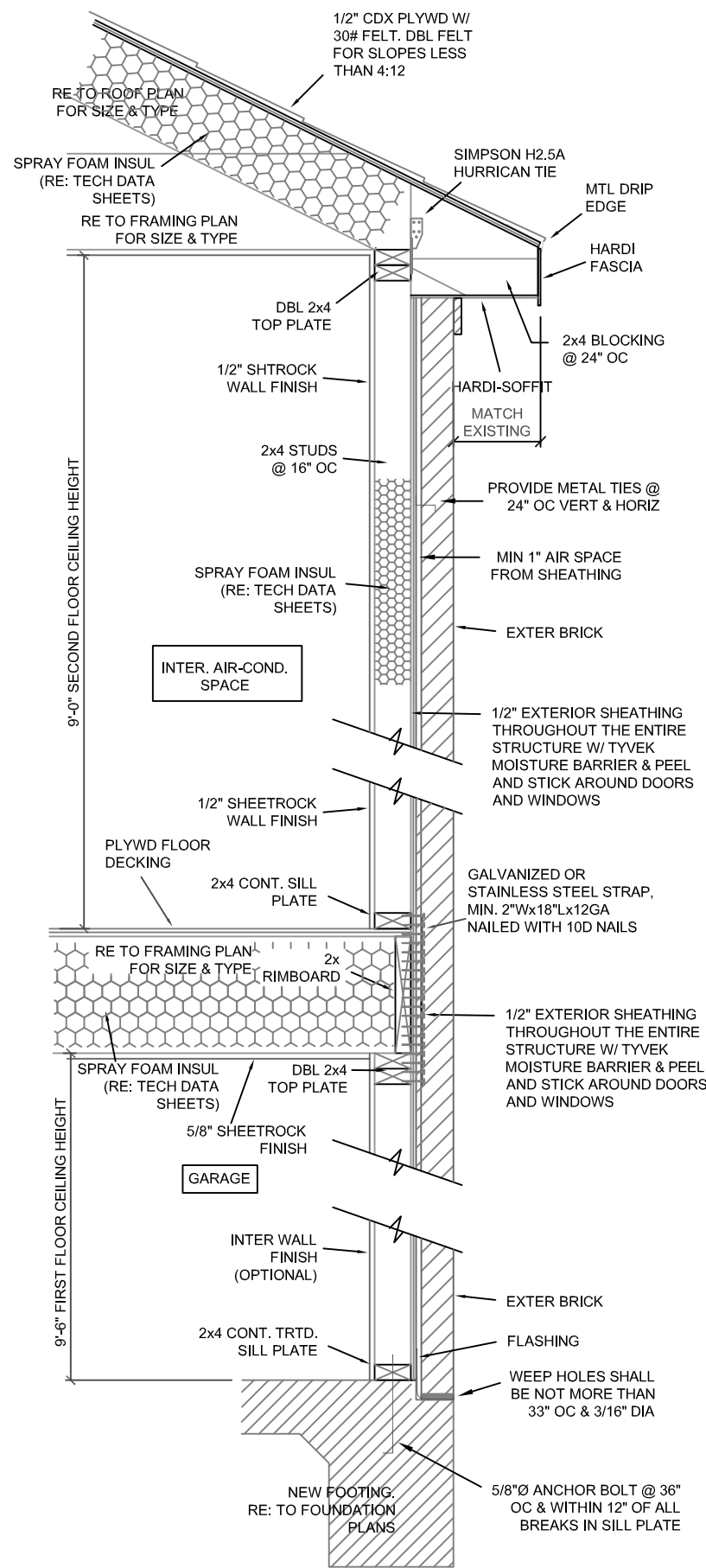


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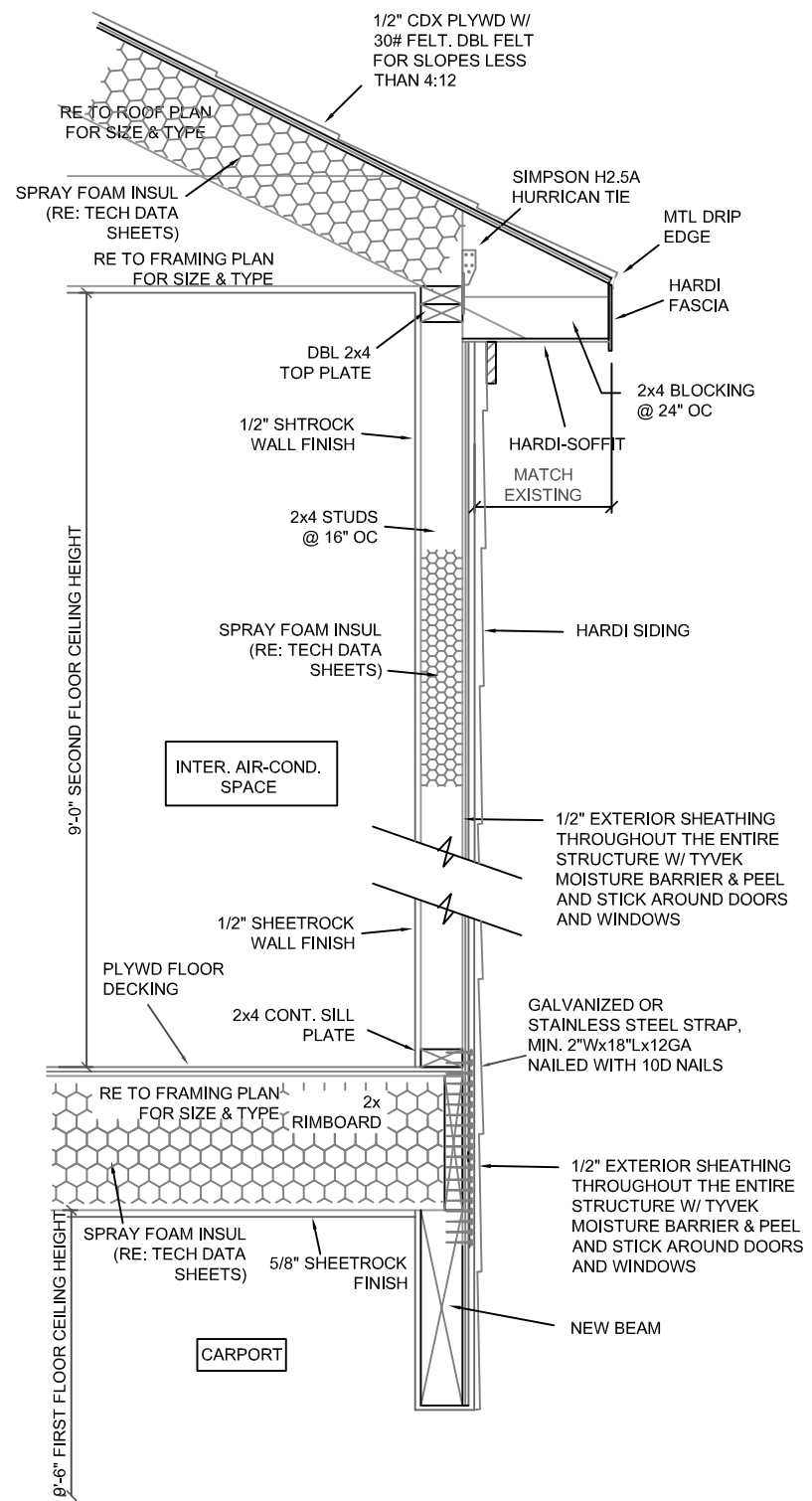
Project: 22-01011 Sheet  
 Date: S9  
 Scale:

MINIMUM INSULATION & FENESTRATION REQUIREMENTS					
CLIMATE ZONE	FENESTRATION U-FACTOR	FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	FLOOR R-VALUE
2	0.40 (MAX)	0.25 (MAX)	38 (MIN)	13 (MIN)	13 (MIN)

**NOTES:**  
 1. Install wind strapping to provide continuous ties from the roof ridge to the foundation system as per appendix L.  
 2. A continuous air barrier shall be installed in the building envelope, per IECC-Table R402.4.1.1  
 3. Blower door testing and duct testing will be required per IECC sections R402.4.1.2 and R403.3.3



**TYPICAL WALL SECTION**  
SCALE: NTS



**WALL SECTION @ CARPORT BEAM**  
SCALE: NTS

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 2017 NATIONAL ELECTRICAL CODE  
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 ROOF DEAD LOAD = 10.0 PSF  
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Engineer:

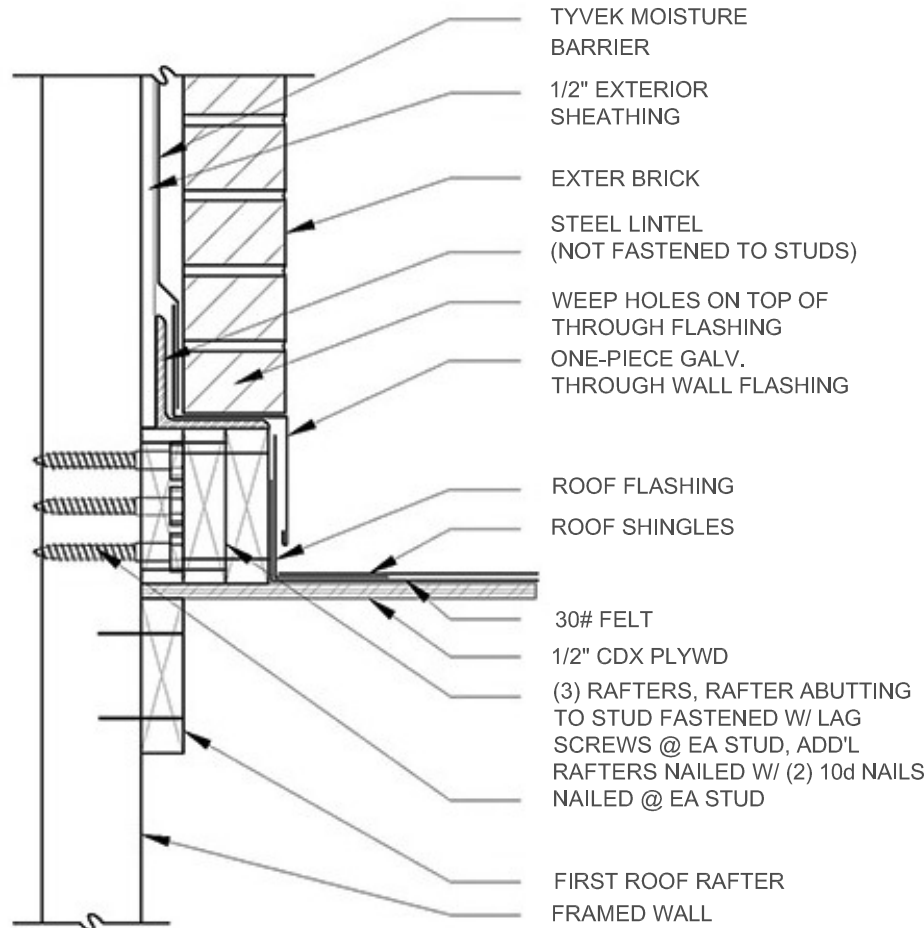
**JAMES E. DEAVER JR.**  
96663  
LICENSED PROFESSIONAL ENGINEER

Design Firm Name: **LeiCo AIBD DESIGN**  
 MEMBER AMERICAN INSTITUTE OF BUILDING DESIGN  
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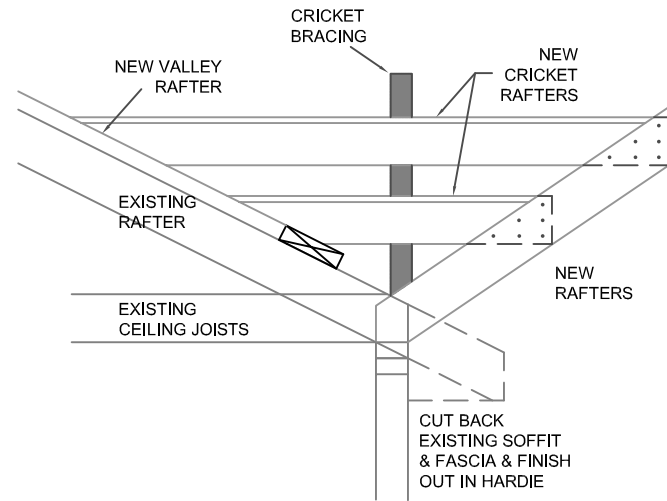
Contractor Name: **ALL-TEX HOME IMPROVEMENT SERVICES, LLC**

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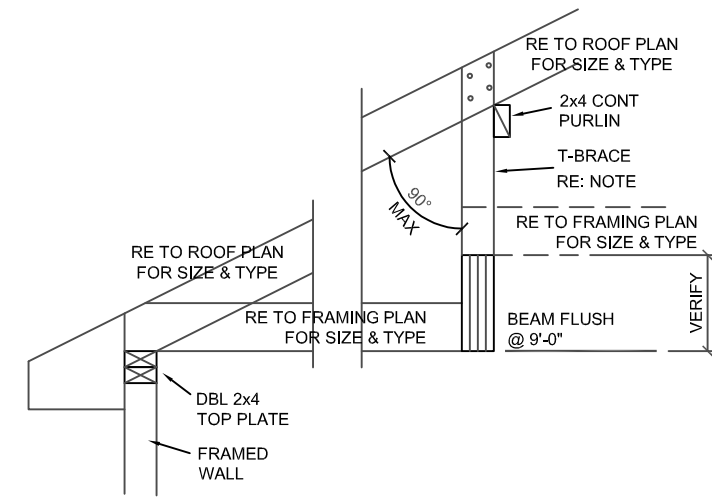
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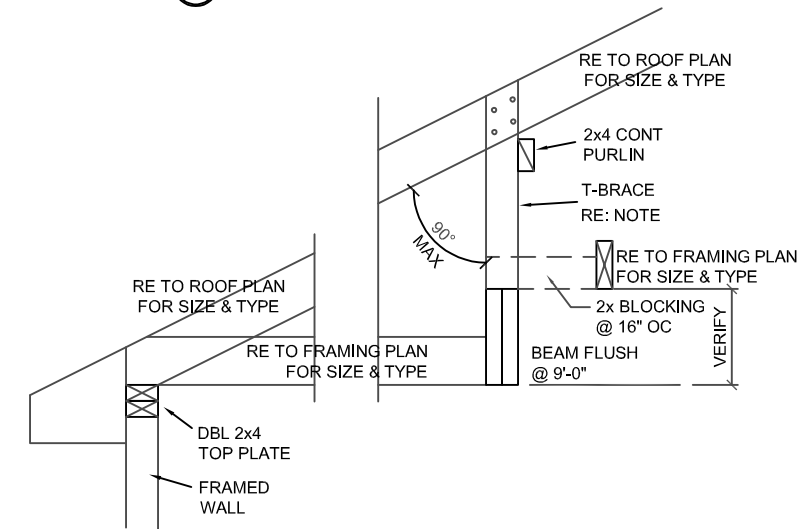
BRICK TO ROOF TRANSITION



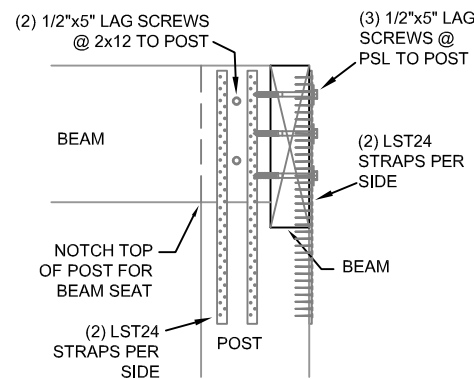
BRICK TO ROOF TRANSITION



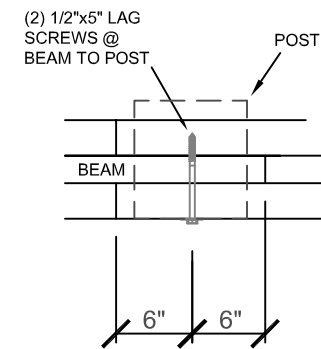
TRAY CEILING DETAIL



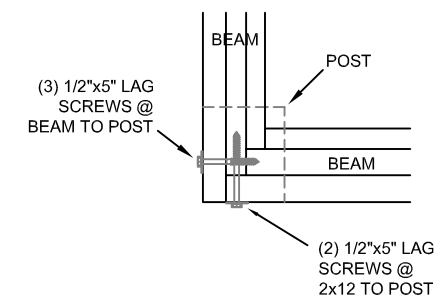
TRAY CEILING DETAIL



BEAM TO POST CONN



BEAM TO POST CONN (CENTER) PLAN (SPLICE; IF NEC)



BEAM TO POST CONN (CORNER) PLAN

DESIGN LOADS:

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 ROOF DEAD LOAD = 10.0 PSF  
 FLOOR LIVE LOAD = 40.0 PSF  
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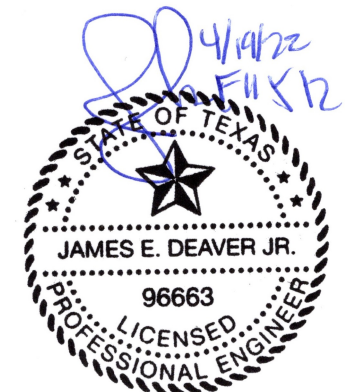
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 8316 Winningham Ln  
 Houston, TX 77055

Project: 22-01011 Sheet  
 Date: S11  
 Scale:

APPENDIX L

CONVENTIONAL LIGHT-FRAME WOOD CONSTRUCTION FOR SINGLE FAMILY RESIDENTIAL CONSTRUCTION IN HIGH-WIND AREAS

SECTION AL101  
GENERAL

**AL101.1 Scope.** This chapter applies to regular-shaped single family residential buildings that are not more than three stories in height and are of conventional light-frame construction.

**Exception:** Detached carports and garages not exceeding 700 square feet (65 m<sup>2</sup>) and accessory to Group R-3 occupancies need only comply with the roof-member-to-wall-tie requirements of Section AL103.8.

SECTION AL102  
DEFINITION

**CORROSION RESISTANT or NONCORROSIVE.** Refers to a material having a corrosion resistance equal to or greater than a hot-dipped galvanized coating of 1.5 ounces of zinc per square foot (4 g/m<sup>2</sup>) of surface area. When an element is required to be corrosion resistant or noncorrosive, all of its parts, such as screws, nails, wire, dowels, bolts, nuts, washers, shims, anchors, ties and attachments, shall also be corrosion resistant or noncorrosive.

SECTION AL103  
COMPLETE LOAD PATH AND UPLIFT TIES

**AL103.1 General.** Blocking, bridging, straps, approved framing anchors or mechanical fasteners shall be installed to provide continuous ties from the roof to the foundation system. Tie straps shall be 1½-inch (28.6 mm) by 0.036-inch (0.91 mm) (No. 20 gage) sheet steel and shall be corrosion resistant as herein specified. All metal connectors and fasteners used in exposed locations or in areas otherwise subject to corrosion shall be of corrosion-resistant or noncorrosive material. The number of common nails specified is the total required and shall be equally divided on each side of the connection. Nails shall be spaced to avoid splitting of the wood.

**Exception:** Pre-manufactured connectors that provide equal or greater tie-down capacity may be used, provided that they are installed in compliance with all the manufacturer's specifications.

**AL103.2 Wall-to-foundation tie.** Exterior walls shall be tied to a continuous foundation system or an elevated foundation system in accordance with Section AL105.

**AL103.3 Sills and foundation tie.** Foundation plates resting on concrete or masonry foundations shall be bolted to the foundation with not less than ½-inch-diameter (13 mm) anchor bolts with 7-inch-minimum (178 mm) embedment into the foundation and spaced not more than 4 feet (1219 mm) on center.

**AL103.4 Floor-to-foundation tie.** The lowest-level exterior wall studs shall be connected to the foundation sill plate or an approved elevated foundation system with bent tie straps spaced not more than 32 inches (813 mm) on center. Tie straps shall be nailed with a minimum of 4 ten penny nails.

**AL103.5 Wall framing details.** The spacing of studs in exterior walls shall be in accordance with Chapter 23. Mechanical fasteners complying with this chapter shall be installed at a maximum of 32 inches (813 mm) on center as required to connect studs to the sole plates, foundation sill plate and top plates of the wall. The fasteners shall be nailed with a minimum of 8 eight penny nails.

Where openings exceed 4 feet (1219 mm) in width, the required tie straps shall be at each edge of the opening and connected to a doubled full-height wall stud. When openings exceed 12 feet (3658 mm) in width, two ties at each connection or a manufactured fastener designed to prevent uplift shall be provided.

**AL103.6 Wall sheathing.** All exterior walls and required interior main cross-stud partitions shall be sheathed in accordance with Chapter 23.

**AL103.7 Floor-to-floor tie.** Upper-level exterior wall studs shall be aligned and connected to the wall studs below with tie straps placed a maximum of 32 inches (813 mm) on center and connected with a minimum of 6 eight penny nails per strap.

**AL103.8 Roof-members-to-wall tie.** Tie straps shall be provided from the side of the roof-framing member to the supporting member below the roof. Tie straps shall be placed at every roof-framing member and connected with a minimum of 8 eight penny nails.

**AL103.9 Ridge ties.** Opposing common rafters shall be aligned at the ridge and be connected at the rafters with tie straps spaced a maximum of 32 inches (813 mm) on center and connected with 8 eight penny nails.

**AL103.10 Gable-end walls.** Gable-end wall studs shall be continuous between points of lateral support that are perpendicular to the plane of the wall. Gable-end wall studs shall be attached with approved mechanical fasteners at the top and bottom. Eight 8 penny nails shall be required for each fastener. Fasteners shall be spaced a maximum of 32 inches (813 mm) on center.

SECTION AL104  
ROOFS

**AL104.1 Roof sheathing.** Solid roof sheathing shall be applied and shall consist of a minimum 1-inch-thick (25.4 mm) nominal lumber applied diagonally or a minimum 15/32-inch-thick (11.9 mm) wood structural panel or particle board (OSB) or other approved sheathing applied with the long dimension perpendicular to supporting rafters. Sheathing shall be nailed to roof framing in an approved manner. The end joints of wood structural panels or particle board shall be staggered and shall occur over blocking, rafters, or other supports.

**AL104.2 Roof covering.** Roof coverings shall be approved and shall be installed and fastened in accordance with Chapter 15 and with the manufacturer's instructions.

**AL104.3 Roof overhang.** The roof eave overhang shall not exceed 3 feet (914 mm) unless an analysis is provided showing that the required resistance is provided to prevent uplift. The roof overhang at gabled ends shall not exceed 2 feet (610 mm) unless an analysis showing that the required resistance to prevent uplift is provided.

SECTION AL105  
ELEVATED FOUNDATION

**AL105.1 General.** When approved, elevated foundations supporting not more than one story and meeting the provisions of this section may be used. A foundation investigation may be required by the building official.

**AL105.2 Material.** All exposed wood-framing members shall be treated wood. All metal connectors and fasteners used in exposed locations shall be corrosion-resistant or noncorrosive steel.

**AL105.3 Wood piles.** The spacing of wood piles shall not exceed 8 feet (2438 mm) on center. Square piles shall not be less than 10 inches (254 mm) and tapered piles shall have a tip of not less than 8 inches (203 mm). Eight-inch-square (5161 mm<sup>2</sup>) piles shall have a minimum embedment length of 5 feet (1524 mm) and shall project not more than 8 feet (2438 mm) above undisturbed ground surface. Eight-inch (203 mm) taper piles shall have a minimum embedment length of 6 feet (1828 mm) and shall project not more than 7 feet (2134 mm) above undisturbed ground surface.

**AL105.4 Girders.** Floor girders shall consist of solid sawn timber, built-up 2-inch-thick (51 mm) lumber, or trusses. Splices shall occur over wood piles. The floor girders shall span in the direction parallel to the potential floodwater and wave action.

**AL105.5 Connections.** Wood piles may be notched to provide a shelf for supporting the floor girders. The total notching shall not exceed 50 percent of the pile cross section. Approved bolted connections with ¼-inch (6.4 mm) corrosion-resistant or noncorrosive steel plates and ¾-inch-diameter (19 mm) bolts shall be provided. Each end of the girder shall be connected to the piles using a minimum of two ¾-inch-diameter (19 mm) bolts

DESIGN LOADS:

2018 INTERNATIONAL RESIDENTIAL CODE  
2017 NATIONAL ELECTRICAL CODE  
ULTIMATE WIND LOAD DESIGN = 140 MPH  
ROOF LIVE LOAD = 20.0 PSF  
ROOF DEAD LOAD = 10.0 PSF  
FLOOR LIVE LOAD = 40.0 PSF  
FLOOR DEAD LOAD = 10.0 PSF

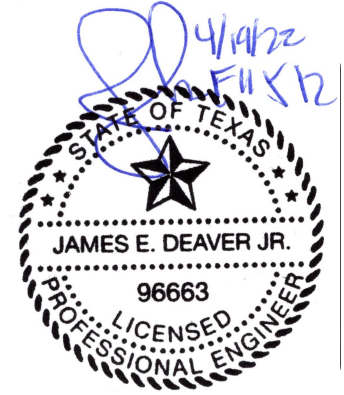
THESE PLANS ARE AN OUTLINE OF MINIMUM SPECIFICATIONS NOTED IN SALES CONTRACT AND SIGNED BETWEEN CONTRACTOR AND OWNER. IT IS THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO REVIEW AND NOTIFY ALL PARTIES INVOLVED OF ANY DISCREPANCIES BETWEEN CONTRACT AND PLANS. FOR ALL SALES ITEMS SUCH AS, BUT NOT LIMITED TO, SIZE OF PROJECT, QUANTITY OF MECH, ELEC, AND PLUMBING ITEMS, CONTRACT SHALL TAKE PRECEDENCE. ANY FORM OF STRUCTURAL, FABRICATION OR ASSEMBLY DETAILS, PLANS SHALL TAKE PRECEDENCE.

TDI INFO:

All products such as doors, windows, shingles, siding, any roof penetration product (ridge vent, roof jacks, roof vents, etc.), etc. must have current TDI approval as stated on the Product evaluation index

Plans do not include TDI Windstorm Inspections and Filing. If WPI-8 is desired, engineer to be notified prior to installation of concrete, cover up of framing and roof decking, and prior to project completion in order to perform inspection for Windstorm

Engineer:



Project Name and Address  
Noyes  
Residence  
8316 Winningham Ln  
Houston, TX 77055

Project: 22-01011 Sheet  
Date: S12  
Scale:

Cheryl Saha  
8320 Winningham Ln  
Houston, TX 77055

City of Spring Valley  
Planning and Zoning  
1025 Campbell Rd  
Houston, TX 77055

Dear City of Spring Valley:

I am the immediate west neighbor to 8316 Winningham Ln where a home remodel/addition is in planning to begin pending approval from City of Spring Valley. I have reviewed the plans/layout of the new structure relative to the existing structure and feel this will improve the overall value of the neighborhood and be a nice addition to the home of Adam and Jamie Noyes. The below survey shows the existing garage vs the new garage addition where the side property line setback is in question. I do not have an issue with the current layout or footprint of the new structure in relation the location to the property line (same nearest side setback for both existing and new addition) separating my home, 8320 Winningham Ln and the home of Adam and Jamie Noyes at 8316 Winningham Ln.

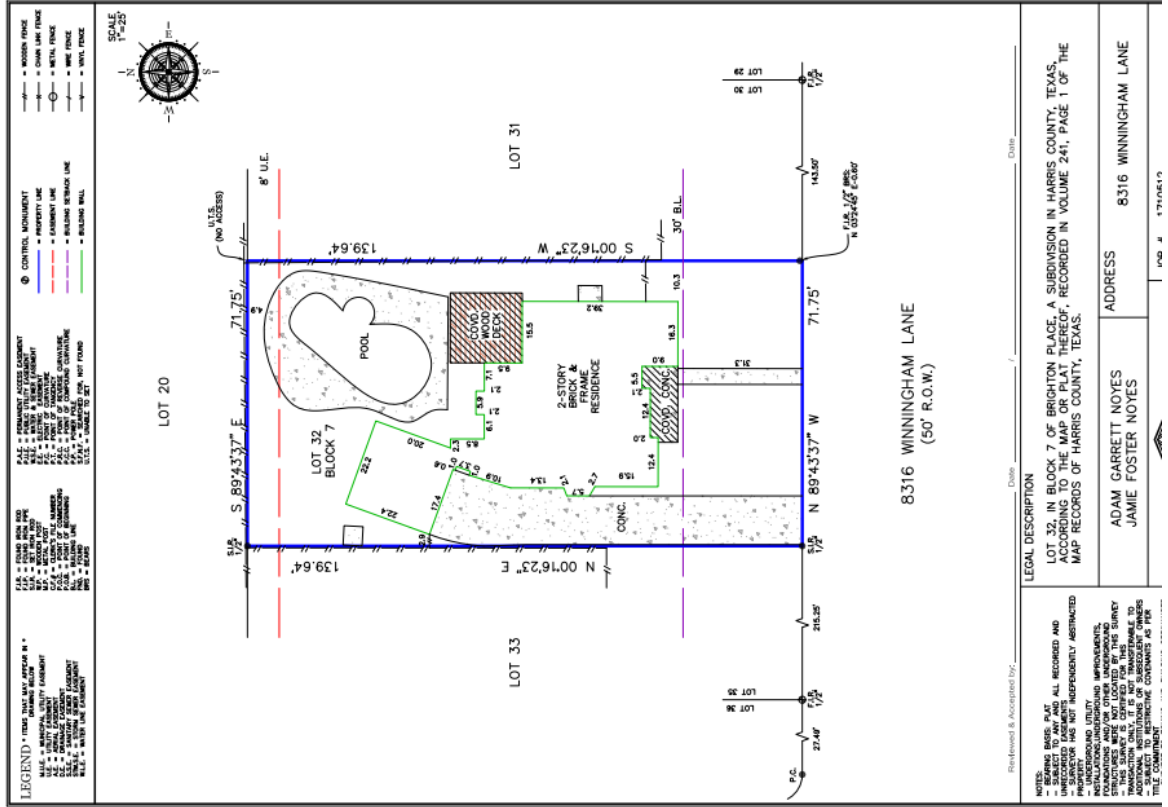
**Current garage setback from side property line 2.9'**

**New garage setback from side property line 2.9'**

Allowable per ordinance:

<b>Side setback (8')</b> <b>Side Property Adjoining local/collector street (15')</b> <b>Side Property Adjoining Major Thoroughfare (25')</b> <b>(Chap. 12 Sec. 05:02.03.09.03)</b> <b>*note stairs can not be in required setbacks.</b>	<b>DNC</b> <b>Plans</b> <b>currently</b> <b>show 2.9'</b> <b>from side</b> <b>yard.</b>
---	--

Existing survey garage and home footprint.





Matt Henderson  
8329 Winningham Ln  
Houston, TX 77055

City of Spring Valley  
Planning and Zoning  
1025 Campbell Rd  
Houston, TX 77055

Dear City of Spring Valley:

I am the immediate south neighbor to 8316 Winningham Ln where a home remodel/addition is in planning to begin pending approval from City of Spring Valley. I have reviewed the plans/layout of the new structure relative to the existing structure and feel this will improve the overall value of the neighborhood and be a nice addition to the home of Adam and Jamie Noyes. The below survey shows the existing garage vs the new garage addition where the side property line setback is in question. I do not have an issue with the current layout or footprint of the new structure in relation the location to the property line (same nearest side setback for both existing and new addition) separating my home, 8320 Winningham Ln and the home of Adam and Jamie Noyes at 8316 Winningham Ln.

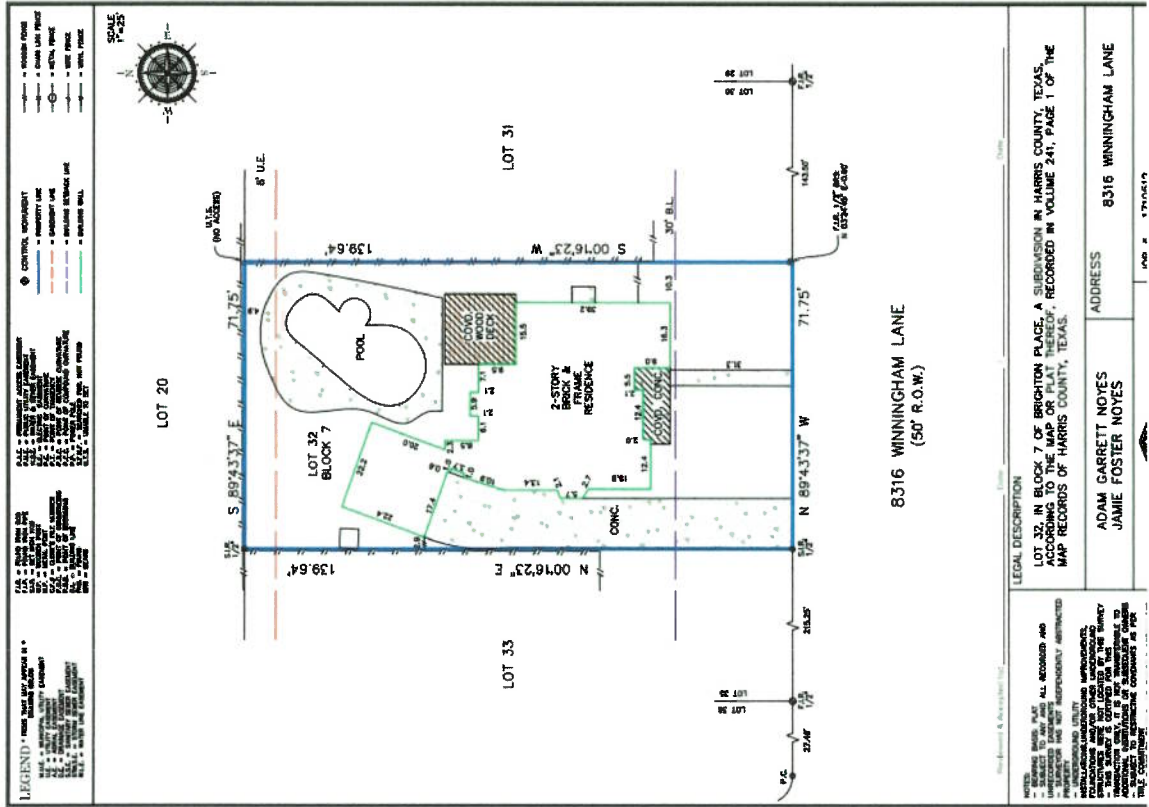
**Current garage setback from side property line 2.9'**

**New garage setback from side property line 2.9'**

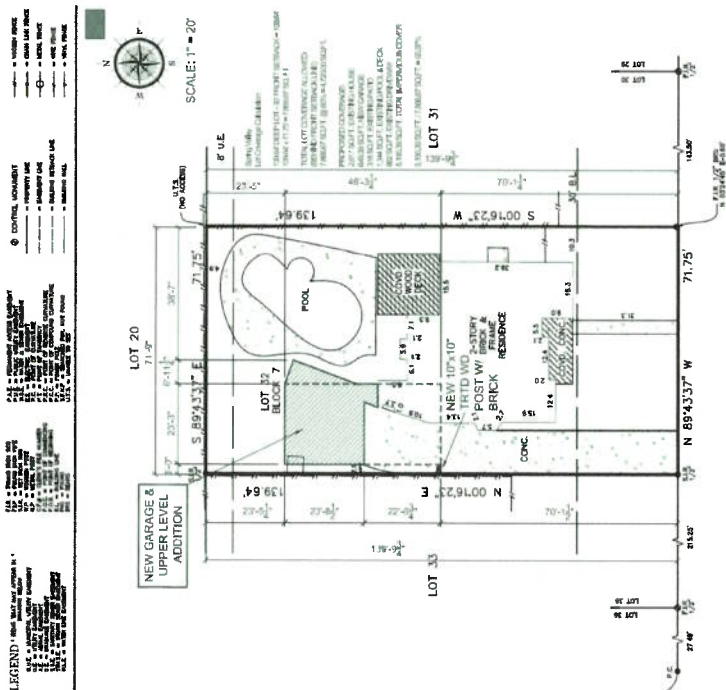
Allowable per ordinance:

<b>Side setback (8')</b> <b>Side Property Adjoining local/collector street (15')</b> <b>Side Property Adjoining Major Thoroughfare (25')</b> <b>(Chap. 12 Sec. 05:02.03.09.03)</b> <b>*note stairs can not be in required setbacks.</b>	<b>DNC Plans currently show 2.9' from side yard.</b>
---	--

Existing survey garage and home footprint.



Survey showing new addition footprint.



8316 WINNINGHAM LANE  
 (50' R.O.W.)

**LEGAL DESCRIPTION**  
 LOT 33, IN BLOCK 7 OF WINNINGHAM PLACE, A SUBDIVISION IN HARRIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 241, PAGE 1 OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS.

**PRO-SURV**  
 JOB # 1710512  
 DATE 11-2-17  
 REF 17004715

**ADDRESS**  
 8316 WINNINGHAM LANE

**ADAM GARRETT NOYES  
 JAMIE FOSTER NOYES**

**OF HARRIS COUNTY, TEXAS**

I, DAN EMMETT CANNON, COUNTY CLERK OF HARRIS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THIS SURVEY WAS FILED AND MADE PUBLIC IN ACCORDANCE WITH THE PROVISIONS OF THE SURVEY ACT, CHAPTER 63, TITLE 5, OF THE TEXAS GOVERNMENT CODE, AND THAT THE SAME IS A TRUE AND CORRECT COPY OF THE ORIGINAL SURVEY RECORD AS FILED IN MY OFFICE.

Sincerely,

*Matt Henderson*

Matt Henderson  
 8329 Winningham Ln  
 Houston, TX 77055  
 713-530-0526



**THIS DOCUMENT CONTAINS CONFIDENTIAL INFORMATION**  
**2021 APPRAISAL EVIDENCE SUMMARY**  
**ACCOUNT : 110-033-000-0032**

**NOYES ADAM GARRETT FOSTER**  
**JAMIE ANN**

Property Location	
8316 WINNINGHAM LN HOUSTON TX 77055 LT 32 BLK 7 BRIGHTON PLACE MKT Area : 394 NBHD Grp : 25201 NBHD : 7813.04	Facet : 5058B Key Map® : 491A

Building Characteristics	
A1 -- Real, Residential, Single-Family	
A1 -- Real, Residential, Single-Family	
1001 -- Residential Single Family	
Number of Bldgs	1
Building % Complete (Bldg. 1)	100%
Year Built / Remodeled	1979 / 2009
Effective Year Built	1979
Total Living Area (All Bldgs)	2,917
Total Bedrooms (All Bldgs)	4
Total Baths: Full / Half (All Bldgs)	2 / 1
Cond. / Desir. / Util. (CDU)	Very Good
Grade	B+
Foundation Type	Slab
Exterior Wall	Brick / Masonry
Cost and Design	Extensive(92)

Additional Information	
New Owner Date	11/16/2017
Exemptions	Residential Homestead
Acreage	0.2300 AC
Land Area	10,019 SF
Land / SF	\$52.45
Tiebacks Exist	No
Undivided Interest Account	No
Evidence Requested (as of 4/21/2021)	No

Recent Sales Information *
There are no recorded sales for this property in tax years 2018 - 2021.



Picture Taken 3/7/2016

Extra Features		
#	Description	Units
1	Frame Detached Garage	1
2	Gunite Pool	1
3	Pool SPA with Heater	1
4	Canopy - Residential	1

Noticed Value Detail	
Primary Valuation Method : CAMA	
Total Improvement Value	\$390,922
Land Value	\$525,499
<hr/>	
Market Value	\$916,421
Appraised Value	\$839,850
New Construction Value	\$0

Equity Analysis	
Subject Value At Median :	\$914,000

**DIVIDER PAGE**

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### 05:02.03 Size and Area Requirements:

#### .09 Building line setbacks: (Ordinance 231)

.09.01 General: The following restrictions shall apply to all construction of or addition to new or pre-existing buildings, dwellings, garages, and accessory use buildings.

#### .09.03 Side building line setback.

**09.03.01 Adjoining another lot. For adjoining side property lines, the side building setback shall be not less than eight feet (8'). Where a side property line adjoins the rear property line of adjacent property, the side yard setback for the second story shall be not less than fifteen feet (15'). (Ordinance 2006-05 adopted 3-28-06)**

.09.03.02 Adjoining a local or collector street. Adjoining a local or collector street right-of-way the minimum side building line setback shall be fifteen feet (15').

.09.03.03 Adjoining a major-thoroughfare. Adjoining a major-thoroughfare the minimum side building line setback shall be twenty-five feet (25').

.09.03.04 Setback adjustment. If a side lot line adjoins a right-of-way of less width than the minimum required by the City's Subdivision Development Ordinance or the City's Street and thoroughfare plan, there shall be added to the setback additional footage to compensate for the deficit, in order to preserve setbacks and the alignment of homes.

.09.03.05 An exception to the side building line setback for pre-existing dwellings and pre-existing garages. This subsection is applicable to pre-existing dwellings and pre-existing garages only. It is the intent of this subsection to permit a one-story enlargement or a one-story alteration of a pre-existing dwelling or pre-existing garage (whether one story or greater) within the side setback area as described in this subsection. A dwelling or garage that was constructed (pre-existing only) from the side property line of an adjoining lot, street or major-thoroughfare as permitted by the city's regulations then in effect may be enlarged or altered within the side building line setback adjoining another lot, street or major-thoroughfare provided that the one-story enlargement or one-story alteration is no closer to the side lot line than the pre-existing structure and is no closer than five feet from the side property line of the adjoining lot, street, or major thoroughfare. Further, the one-story enlargement or the one-story alteration within the current side setback area of the adjoining lot, street or major-thoroughfare shall not exceed in height the one-story height of the pre-existing structures on the lot based upon their first floor plate height and roof slope. This exception applies only to side building line setbacks. (Ordinance 96-10; Ordinance 2003-02 adopted 1-20-03; Ordinance 2009-13 adopted 8-25-09)

#### .09.04. Rear building line setback.

- 
- 09.04.01 Rear setback. For adjoining rear property lines, the rear building setback shall be not less than ten feet (10') for the first story, and not less than twenty five feet (25') for the second story. Where a rear property line adjoins the side property line of adjacent property, the rear yard setback shall be not less than ten feet (10'). (Ordinance 2006-05 adopted 3-28-06)
- .09.04.02 Adjoining a local or collector street. Adjoining a local or collector street right-of-way the minimum required rear building setback shall be fifteen feet (15').
- .09.04.03 Adjoining a major-thoroughfare. Adjoining a major-thoroughfare the minimum required rear building line setback shall be twenty-five feet (25').
- .09.04.04 Setback adjustment. If a lot backs up to a right-of-way of less width than the minimum as required in the City's Street and Thoroughfare Plan there shall be added to the setback additional footage to compensate for the deficit, in order to preserve setbacks and the alignment of homes.
- .09.04.05 Pre-existing lot. If the pre-existing lot depth is less than the minimum depth required by the City Subdivision Development Ordinance, the rear building line setback shall not be less than the setback shown on the pre-existing recorded plat, but in no event less than ten feet (10').

**DIVIDER PAGE**



EST. 1955

**SPRING VALLEY**  
V I L L A G E

October 20, 2022

Dear Property Owner:

**Notice Is Hereby Given To Hear Comments And Testimony Regarding The Following Proposed Variance:**

A Request from Adam Noyes for a variance from Chapter 12 of the City of Spring Valley Village's Code of Ordinances, Planning and Zoning, Subsection 05:02.03.09.03, Side Building Line Setback, of Section 5, Building and Use Restrictions in Dwelling District "A", to allow a new garage and second story to be located at 2.9 Feet from the Side Property Line, Instead of the Required 8 Feet, for the Property Located at 8316 Winningham Lane, in the City of Spring Valley Village, Texas.

The **Board of Adjustments** of the City of Spring Valley Village will hold a public hearing regarding this request to provide all interested parties the right to appear and request information on:

**Date:** Wednesday, November 16, 2022

**Time:** 6:00 p.m.

**Location:** Council Chambers of Spring Valley Village City Hall, 1025 Campbell Road

This notice is being sent to you as current property records indicate that you own property in close proximity to 8316Winningham Lane. All interested parties are invited to attend both public hearings and will have the opportunity to be heard. For further information, please contact me at (832) 910-8577 or [zmeadows@springvalleytx.com](mailto:zmeadows@springvalleytx.com).

Sincerely,

A handwritten signature in blue ink, appearing to read 'Zachary Meadows', is written over the typed name and title.

Zachary Meadows  
Director of Community Development

Brian & Cherish Bradshaw  
28 N. Creekside Ct.  
Houston, TX 77055

Trent Foltz  
8324 Burkhart Cir.  
Houston, TX 77055

James A. Becker  
8335 Wunningham Ln.  
Houston, TX 77055

Current Owner  
8324 Wunningham Ln.  
Houston, TX 77055

Peter E. & Susan Norris  
8313 Burkhart Cir.  
Houston, TX 77055

Erik & Manon R. Mrok  
8339 Wunningham Ln.  
Houston, TX 77055

Current Owner  
8316 Wunningham Ln.  
Houston, TX 77055

Martin & Elizabeth Perez  
8317 Burkhart Cir.  
Houston, TX 77055

Sammy Lacorte  
8325 Wunningham Ln.  
Houston, TX 77055

Nira J. Proto  
8331 Wunningham Ln.  
Houston, TX 77055

Sung Chul & Han Hee Kim  
8305 Burkhart Cir.  
Houston, TX 77055

Gerardo & Mala Salvador  
Revocable Trust  
8328 Wunningham Ln.  
Houston, TX 77055

Marcus B. & Jennifer M. Vajdos  
8325 Burkhart Cir.  
Houston, TX 77055

James M. Stark  
8304 Wunningham Ln.  
Houston, TX 77055

Miguel A. & Joanna F. Castro  
8308 Wunningham Ln.  
Houston, TX 77055

Mark E. & Ann R. Cohen  
30 N. Creekside Ct.  
Houston, TX 77055

Hoosein Banon  
8317 Wunningham Ln.  
Houston, TX 77055

Donald Lee Migl  
8312 Wunningham Ln.  
Houston, TX 77055

Sandra M. Brewer  
8321 Burkhart Cir.  
Houston, TX 77055

Cheryl A. Saha  
8320 Wunningham Ln.  
Houston, TX 77055

Oscar G. & Harriet D. Salem  
32 N. Creekside Ct.  
Houston, TX 77055

Jeanette S. Harris  
8309 Burkhart Cir.  
Houston, TX 77055

Alexandra F. & Benjamin B.  
Ten Have  
8341 Wunningham Ln.  
Houston, TX 77055

John G. Jr. & Cheryl Meador  
24 N. Creekside Ct.  
Houston, TX 77055

John S. & Emily J. Kennedy  
8329 Burkhart Cir.  
Houston, TX 77055

Humberto G. Kuhn  
8321 Wunningham Ln.  
Houston, TX 77055

Eddy K. Lim  
8316 Burkhart Cir.  
Houston, TX 77055

Matthew & Danielle Henderson  
8329 Wunningham Ln.  
Houston, TX 77055

**DIVIDER PAGE**

**PUBLIC NOTICE  
CITY OF SPRING VALLEY VILLAGE, TEXAS  
NOTICE OF PUBLIC HEARING**

**Notice Is Hereby Given To Hear Comments And Testimony Concerning The Following:**

A Request from Adam Noyes for a variance from Chapter 12 of the City of Spring Valley Village's Code of Ordinances, Planning and Zoning, Subsection 05:02.03.09.03, Side Building Line Setback, of Section 5, Building and Use Restrictions in Dwelling District "A", to allow a new garage and second story to be located at 2.9 Feet from the Side Property Line, Instead of the Required 8 Feet, for the Property Located at 8316 Winningham Lane, in the City of Spring Valley Village, Texas.

The **Board of Adjustment** of the City of Spring Valley Village will hold a public hearing regarding this request to provide all interested parties the right to appear and request information on:

**Date:** Wednesday, November 16, 2022

**Time:** 6:00 p.m.

**Location:** Council Chambers  
Spring Valley Village City Hall  
1025 Campbell Road  
Houston, TX 77055

**For additional information regarding this public hearing, please contact the Director of Community Development Zachary Meadows at (713) 465-8308.**

**DIVIDER PAGE**



## RESIDENTIAL ZONING CHANGE NOTIFICATION SIGN CRITERIA

A zoning sign is a sign erected on property for which a zoning case has been filed with the City, including, but not limited to, zoning changes, Specific Use Permits, Variances, or Special Exceptions. **The number of signs and the placement of signs shall be determined by the Building Official at the time of submittal.** It is the responsibility of the owner/project representative to contact the Building Department to verify the number and location of signs needed.

Residential property owners/applicants need to contact the City Secretary to schedule pick up and drop off times for the signs.

**IF YOU HAVE ANY QUESTIONS, PLEASE CALL (713) 465-8308.**

### ADHERE TO THE FOLLOWING INSTRUCTIONS:

#### PLACEMENT

- One (1) sign shall be erected by the applicant adjacent to each street frontage on the property that is the subject of the application and for each two hundred feet (200') of frontage along a street with a maximum of three (3) signs required per street frontage.
- Signs shall be placed in a location on private property and clearly visible from all streets adjacent to the property included in the application.
- Where land does not have frontage on a public street, signs shall be posted on the nearest public street with a notation indicating the location of the land subject to the application.
- Signs shall be no greater than twenty (20) feet from the property line and shall be a minimum of two (2) feet off the ground, unless otherwise directed by the Building Official or his/her designee.
- Signs shall be placed perpendicular to the roadway to ensure they are readable from both sides


- Signs shall be located so that the lettering is visible and may be clearly read from the street.

#### PROOF OF POSTING

- **The applicant shall erect the sign(s) on the property that is the subject of the application a minimum of seven (7) calendar days immediately preceding the date of the public hearing before the Board of Adjustments)**
- The applicant is responsible for maintaining the sign(s) on the property throughout the review process.
- A minimum of seven (7) calendar days prior to the public hearing, the applicant shall file an affidavit, on a form provided by the City, with the Building Official verifying that the sign(s) was posted as required, and return them to the City Hall.

#### REMOVAL OF SIGNS

- **The applicant shall be responsible for removing the sign(s) from the property within seven (7) calendar days of the final action on the application by the Board**

Preparer's Name: ADAM NOYES Preparer's Signature: 

**NOTE: Violations of the sign ordinance will result in fines to the property owner and will delay the request for Zoning or Specific Use Permit. Failure to remove zoning signs per the sign ordinance will result in a citation of \$500 per sign/per day until removed.**



**AFFIDAVIT OF SIGN POSTING**

(Re)Zoning Case No. VAPL-2022-02

Date of Board of Adjustment Meeting: 11/16/22

In accordance with the requirements of Section 01:03:02 of Exhibit 'A' of Chapter 12 of the Code of Ordinances of the City of Spring Valley Village, Texas, I ADAM NOYES hereby certify that I have posted or caused to be posted Zoning Change Notification sign(s) on the property subject to zoning change, located at 8316 Winningham Ln Houston Tx 77055

Posting of said signs was accomplished on 11/4/22 as provided for in Section 01:03:02 of Exhibit 'A' of Chapter 12 of the Code of Ordinances of the City of Spring Valley Village. Said signs have been posted in a manner which provides an unobstructed view and which allows clear reading from the public right(s)-of-way along Winnigham Ln.

I further certify that this affidavit was filed with the Building Department of the City of Spring Valley Village within the time provisions of Section 01:03:02 of Exhibit 'A' of Chapter 12 of the Code of Ordinances of the City of Spring Valley Village.

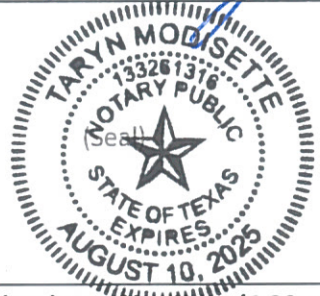
Executed this date: 11/4/22

Printed Name of Applicant or Authorized Representative for Zoning Case No. ADAM NOYES

Signature of Applicant or Authorized Representative for Zoning Case No. [Handwritten Signature]

Sworn and subscribed before me on this date: 11/04/2022

Notary Public [Handwritten Signature]



**PLEASE NOTE: Failure to post the notification sign(s) on the property by the close of business (4:30 pm) seven (7) days prior to the Board of Adjustment public hearing shall result in the postponement of consideration by the Board.**

**STAFF USE ONLY:**

Date/Time submitted: 11/04/22 1:51 PM Verified by: Zach Meadows



(Re)Zoning Case No. VAR-2022-02

Date of Board of Adjustment Meeting: 11/16/22

In accordance with the requirements of Section 01:03:02 of Exhibit 'A' of Chapter 12 of the Code of Ordinances of the City of Spring Valley Village, Texas, I ADAM NOYES hereby certify that Zoning Change Notification sign(s) have been maintained on the property subject to zoning change, located at 8316 Winningham Ln Houston Tx 77055

I further certify that this affidavit was filed with the Building Department of the City on date 11/4/22 within the time provisions of Section 01:03:02 of Exhibit 'A' of Chapter 12 of the Code of Ordinances of the City of Spring Valley Village.

I understand that I am required to remove said signs within seven (7) calendar days of any final action on the application taken by the City of Spring Valley Village Board of Adjustment regarding the zoning change.

Executed this date: 11/4/22

Printed Name of Applicant or Authorized Representative for Zoning Case No. ADAM NOYES

Signature of Applicant or Authorized Representative for Zoning Case No. [Handwritten Signature]

Sworn and subscribed before me on this date: 11/04/2022

Notary Public [Handwritten Signature]



**PLEASE NOTE: Failure to maintain the signs prior to the Board of Adjustment public hearing may result in postponement of consideration if the applicant has not attempted to replace damaged or missing signs upon notification by Staff.**

FOR STAFF USE ONLY:

Date/Time submitted: 11/04/22 1:52 AM Verified by: Zach Meadows

RCVD  
PM 1:52  
4 NOV '22

**Spring Valley Village Board of Adjustment  
Agenda Item Data Sheet**

**MEETING DATE:** November 16, 2022

**TOPIC:** **CONSIDERATION AND POSSIBLE ACTION CONCERNING:** A Request from Adam Noyes for a variance from Chapter 12 of the City of Spring Valley Village's Code of Ordinances, Planning and Zoning, Subsection 05:02.03.09.03, Side Building Line Setback, of Section 5, Building and Use Restrictions in Dwelling District "A", to allow a new garage and second story to be located at 2.9 Feet from the Side Property Line, Instead of the Required 8 Feet, for the Property Located at 8316 Winningham Lane, in the City of Spring Valley Village, Texas.

**BACKGROUND:** In the previous agenda item, the Board of Adjustment held a public hearing concerning a variance request to the side setback requirements for the property located at 8316 Winningham Lane.

Criteria for Evaluation of Variance Request.

Variations should be granted only in limited instances. Section 211.009 of the Texas Local Government Code provides that a Board of Adjustment may "authorize in specific cases a variance from the terms of the zoning ordinance if:

1. The variance is not contrary to the public interest; and
2. Due to special conditions, a literal enforcement of the ordinance would result in an unnecessary hardship; and
3. So that the spirit of the ordinance is observed and substantial, justice is done.
4. The financial cost of compliance is greater than 50 percent of the appraised value of the structure as shown on the most recent appraisal roll certified to the assessor for the municipality under Section 26.01, Tax Code;
5. Compliance would result in a loss to the lot on which the structure is located of at least 25 percent of the area on which development may physically occur;
6. Compliance would result in the structure not being in compliance with a requirement of a municipal ordinance, building code, or other requirement;
7. Compliance would result in the unreasonable encroachment on an adjacent property or easement; or
8. The municipality considers the structure to be a nonconforming structure.

The "special conditions" and "unnecessary hardship" phrases have been the subject of numerous appellate court decisions.


**Hardship Test:** Does the enforcement of the ordinance destroy **any reasonable use** of his property? (*Reiter v.*

**Spring Valley Village Board of Adjustment  
Agenda Item Data Sheet**

<p><i>City of Keene</i>, 601 S.W.2d 547 (Tex. App. – Waco 1980, writ dismiss'd)). In other words: "Is the environment such that the lot is not reasonably adapted to a conforming use?" (<i>Board of Adjustment v. Stovall</i>, 218 S.W.2d 286 (Tex. Civ. App. – Fort Worth 1949, no writ)).</p>
--

<b>RECOMMENDATION:</b> None
-----------------------------

<b>ATTACHMENTS:</b> • None
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<b>SUBMITTING STAFF MEMBER:</b>  Zachary Meadows, Director of Community Development	<b>CITY ADMINISTRATOR APPROVAL:</b> 
--	---



**Spring Valley Village  
Board of Adjustment  
Agenda Item Data Sheet**

**MEETING DATE:** November 16, 2022

**TOPIC:** **CONDUCT A PUBLIC HEARING CONCERNING:** A Request from Adam Noyes for a variance from Chapter 12 of the City of Spring Valley Village’s Code of Ordinances, Planning and Zoning, Subsection 05:02.03.09.04, Rear Building Line Setback, of Section 5, Building and Use Restrictions in Dwelling District “A”, to allow a new second story to be 23.6 Feet from the Rear Property Line, Instead of the Required 25 Feet, for the Property Located at 8316 Winningham Lane, in the City of Spring Valley Village, Texas.

**BACKGROUND:** Adam Noyes (“Applicant”) wishes to remove his existing garage, build a new garage and add a second story above the newly built garage located at 8316 Winningham Lane (“Property”).

The new proposed second story of the home is shown on the plans at 23.6 feet from the rear property line. This is so that the structure lines up completely over the proposed garage. Subsection 05.02.03.09.04, Rear Building Line Setback, of Section 5, Building and Use Restrictions in Dwelling District “A” to Chapter 12, Zoning, of the Code of Ordinances requires as follows:

“Rear setback. For adjoining rear property lines, the rear building setback shall be not less than ten feet (10’) for the first story, and not less than twenty five feet (25’) for the second story. Where a rear property line adjoins the side property line of adjacent property, the rear yard setback shall be not less than ten feet (10’).”

The proposed construction would violate the requirement found in the above section that the structure proposed must be a minimum of twenty-five (25’) feet from the rear property line, this is only for the proposed second story of the home. The proposed garage can be as close as ten (10’) feet from the rear property line.

The Applicant has provided as a part of their application what they consider justification as to why the variance should be granted.

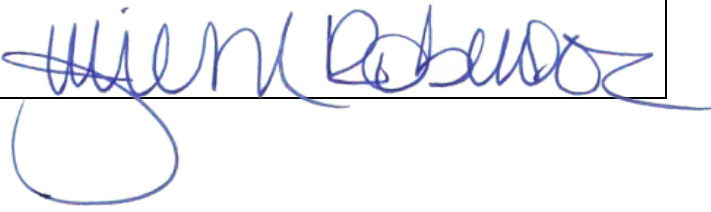
**RECOMMENDATION:** Not applicable during the public hearing.

**ATTACHMENTS:**

- Variance Application Packet Submitted by Adam Noyes for 8316 Winningham Lane
- Subsection 05:02.03.09.03 of the Zoning Ordinance
- Notice of Public Hearing and Mailing Labels

**Spring Valley Village  
Board of Adjustment  
Agenda Item Data Sheet**

• Zoning Change Sign Posting and Maintenance Affidavits

<b>SUBMITTING STAFF MEMBER:</b>  Zachary Meadows, Director of Community Development	<b>CITY ADMINISTRATOR APPROVAL:</b> 
--	---

**DIVIDER PAGE**



EST. 1955  
**SPRING VALLEY**  
VILLAGE

**BOARD OF ADJUSTMENTS APPLICATION**

**PROPERTY INFORMATION**

Property Address: 8316 Winningham Ln, Houston, TX 77055

Legal Description: LT 32 BLK 7  
BRIGHTON PLACE

Present District Zoning: 394 -- ISD 25 - Memorial Villages North of I-10

Action Requested (Circle):  Variance  Special Exception  Appeal

Requested Variance/Special Exception/Appeal Description:

- 1) Rear setback Second Story (25') (Chap. 12 Sec. 05:02.03.09.04) DNC 25' rear setback req.
- 2) Side setback (8') Side Property Adjoining local/collector street (15') Side Property Adjoining Major Thoroughfare (25') (Chap. 12 Sec. 05:02.03.09.03)
- 3) Max: 24" from edge of foundation into setbacks (Chap. 12 Sec. Three - DEFINITIONS 03:M01)

**OWNER INFORMATION**

Name: Adam Noyes

Phone#: 713-725-2229

Address: 8316 Winningham Ln, Houston, TX 77055

Email: adamgnoyes@gmail.com

**APPLICANT/AGENT INFORMATION**

Name:

Phone#:

Address:

Email:

\*\*If applicant is different than property owner a **Notarized Letter of Authorization** must be attached to the application

**PROPERTY OWNER/AGENT AUTHORIZATION**

**Property Owner Consent/Agent Authorization:** By my signature, I hereby affirm that I am the property owner of record, or if the applicant is an organization or business entity, that authorization has been granted to represent the owner, organization or business in this application. I certify that the preceding information is complete and accurate, and it is understood that I agree to the application being requested for this property. Additionally, my signature below indicates my awareness of the fee required at the time of the application submittal and any additional fees as noted in the City's fee schedule. This fee is non-refundable even in the event of application withdrawal.

Adam Noyes

8/31/22

Signature of Contractor/Authorized Agent

Printed Name

Application Date

**FOR OFFICE USE ONLY**

BOA Case Number: \_\_\_\_\_

Date Submitted: \_\_\_\_\_

BOA Meeting Date: \_\_\_\_\_

BOA Decision:  Approved  Denied

## BOARD OF ADJUSTMENTS APPLICATION REQUIREMENTS

### Attach These Items With Completed Application:

- Letter of Permit Application Denial
- Survey/Plot Plan showing all existing structures with dimensions and distances from property lines
- Project Information
- Proof of Ownership
- Letter from property owner if different from the applicant
- Architectural scale Drawings
- \$350.00 Fee
- Letter stating facts and reasons for Hardship and/or Appeal; Specific answers to the following statements:
  - Special circumstances exist that are peculiar to the land or structure.
  - These special circumstances are not self-imposed or the result of the actions of the applicant.
  - Literal interpretation and enforcement of the terms and provisions of the ordinance would cause an unnecessary and undue hardship.
  - Granting the variance is a minimum action that will make use of the land or structure which is not contrary to the public interest and which would carry out the spirit of the ordinance and would result in substantial justice.
  - Such variance will not alter the essential character of the district in which it is located or the property for which the variance is sought.
  - Such variance will not authorize a use other than those uses specifically authorized for the district in which the property for which the variance is sought is located.
  - The variance will not adversely affect the health, safety or welfare of the public.
- The Board may consider the following in relation to their decision on whether to grant a variance or not, please provide an answer to each of the following:
  - The financial cost of compliance is greater than 50 percent of the appraised value of the structure as shown on the most recent appraisal roll certified to the assessor for the municipality under Section [26.01](#), Tax Code.
  - Compliance would result in a loss to the lot on which the structure is located of at least 25 percent of the area on which development may physically occur.
  - Compliance would result in the structure not being in compliance with a requirement of a municipal ordinance, building code, or other requirement.
  - Compliance would result in the unreasonable encroachment on an adjacent property or easement.
  - The Municipality considers the structure to be a nonconforming structure.



# BBG CONSULTING, INC.

## PLAN REVIEW COVER SHEET

PROPERTY INFORMATION	
Project Address	8316 Winningham Ln
Submittal Date	5/3/2022
Property Sq. Footage	10,019 sq ft
Floodplain	<input checked="" type="checkbox"/> X (No Floodplain) <input type="checkbox"/> X – Shaded (500-year) <input type="checkbox"/> AE (100-year)
Zoning District	Dwelling District A
ROW Width	<input checked="" type="checkbox"/> 50 Feet <input type="checkbox"/> 60 Feet <input type="checkbox"/> Other _____
Review Fee	\$

PROJECT INFORMATION			
Requirements	Allowed per Ordinance	Provided/BBG	ZM
Minimum Setbacks	Front Setback 25'/60' ROW OR 30'/50' ROW OR Cul-De-Sac 20' (Chap. 12 Sec. 05:02.03.09.02)	Complies (existing)	
	Rear First Story (10') Rear Property Adjoining a collector street (15') (Chap. 12 Sec. 05:02.03.09.04)	Complies (existing)	
	Rear setback Second Story (25') (Chap. 12 Sec. 05:02.03.09.04)	DNC 25' rear setback req.	
	Side yard Adjacent to rear-yard (increased setbacks for second story) – VERIFY.  Side Property Adjoining rear of another lot the Second Story setback (15')	N/A	
	Side setback (8') Side Property Adjoining local/collector street (15') Side Property Adjoining Major Thoroughfare (25') (Chap. 12 Sec. 05:02.03.09.03) <b>*note stairs can not be in required setbacks.</b>	DNC Plans currently show 2.9' from side yard. Variance req.	

	Garage 5' behind furthest exterior wall (from Living area) (Chap 12 Sec. 05:02.01.04)	Complies	
A/C and Pool Equipment	Minimum 4' from Property line (Chap. 12 Sec. 05:02.13)	Complies	
Height of Structure	Max: 2 stories / 36' (ridge height submittal sheet) (Chap. 12 Sec. 05:02.03.02 & Ord. 2011-05 Sec. 2 03:H01)	Complies	
Driveway Width	Max Width at Intersection of Street (24' + radii) (Requirements/Exceptions Chap. 12 Sec. 05:02.03.10)	Complies (existing)	
Garage	Min: 400 square feet no greater than 50% of the width of the dwelling (Chap. 12 Sec. 05:02.01)	Complies	
Porte Cochere or Garage Overhang	Maximum of 400 square feet, must be located behind the front of the home, and have an entrance to the dwelling next to it.	N/A	
Max Foundation Elevation	Max: 4' above the maximum foundation height. 8" fill maximum for adjacent grade. (Chap. 3 Article 3.1503(k)) (Chap 12. Sec. 05:02.03.07)	Complies	
Lot Coverage behind building line	Max: 60% Impervious Surface (Chap. 12 Sec. 05:02.08)	Complies	
Lot Coverage in front of building line	Max: 50% Impervious Surface (Chap. 12 Sec. 05:02.08)	Complies	
Balconies and Eaves	Max: 24" from edge of foundation into setbacks (Chap. 12 Sec. Three - DEFINITIONS 03:M01)	DNC Variance for setbacks req.	

RESIDENTIAL PLAN SUBMITTAL CHECKLIST		
REQUIRED DOCUMENTS	BBG	ZM
Provide a complete and accurate permit application	<input checked="" type="checkbox"/>	
Provide Engineer drawings (stamped and sealed by Texas licensed professional)	<input checked="" type="checkbox"/>	
Provide property survey (registered professional land surveyor of the State of Texas)	<input checked="" type="checkbox"/>	
Provide Elevation Certificate for proposed construction (N/A)	<input checked="" type="checkbox"/>	
Provide Energy Code compliance letter/certificate	<input checked="" type="checkbox"/>	
Provide Tree disposition plan / fence protection (Chap. 3 Sec. 3:1002)	<input checked="" type="checkbox"/>	
Provide Scaled Floor Plan	<input checked="" type="checkbox"/>	
Provide Framing Plan (signed by structural engineer)	<input checked="" type="checkbox"/>	
Provide Fire Sprinkler System; must be provided on all new homes and additions/renovations/remodels over 50% of existing square footage or replacement cost of structure) (Chap. 5)	<input type="checkbox"/>	

Provide Elevations of structure (labeled)	<input checked="" type="checkbox"/>	
Provide Height verification form for structure and floor levels (Shall not exceed two stories and shall not exceed 36 ft. above natural grade) (Chap. 12 Sec. 05:02.03.02 and Chap12 Sec. Three – DEFINITIONS 03:H-01)	<input checked="" type="checkbox"/>	
Provide Electrical load analysis (NEC 2017)	<input type="checkbox"/>	
Provide Foundation plan (stamped by Engineer) (Chap. 12 Sec. 1:02.01.02)	<input checked="" type="checkbox"/>	
Provide Plumbing Gas Riser, water and DWV diagram	<input type="checkbox"/>	

## Plan Review Comments

### Plans are disapproved with the following comments:

1. Provide a rear setback of 2<sup>nd</sup> story of 25 feet. Either revise plans to show the required 25-foot setback or apply for a Variance to allow a 23' 5 ¼" setback for the second story.
2. Revise plans to show a 5' side yard setback or apply for a variance to allow for reduced side-yard setback (according to Sec. 05:02.03.09.03.05). Current plans show the existing garage is at 2.9' (Survey) shows 3' on the plans.

**05:02.03.09.03.05.** An exception to the side building line setback for pre-existing dwellings and pre-existing garages. This subsection is applicable to pre-existing dwellings and pre-existing garages only. It is the intent of this subsection to permit a one-story enlargement or a one-story alteration of a pre-existing dwelling or pre-existing garage (whether one story or greater) within the side setback area as described in this subsection. A dwelling or garage that was constructed (pre-existing only) from the side property line of an adjoining lot, street or major-thoroughfare as permitted by the city's regulations then in effect may be enlarged or altered within the side building line setback adjoining another lot, street or major-thoroughfare provided that the one-story enlargement or one-story alteration is no closer to the side lot line than the pre-existing structure and is no closer than five feet from the side property line of the adjoining lot, street, or major thoroughfare. Further, the one-story enlargement or the one-story alteration within the current side setback area of the adjoining lot, street or major-thoroughfare shall not exceed in height the one-story height of the pre-existing structures on the lot based upon their first floor plate height and roof slope. This exception applies only to side building line setbacks. (Ordinance 96-10; Ordinance 2003-02 adopted 1-20-03; Ordinance 2009-13 adopted 8-25-09)

3. Provide Electrical load analysis.

Zach Meadows  
Director of Community Development  
Spring Valley Village  
1025 Campbell Rd  
Houston, Texas 77055

Re: Request for variance from setback at 8316 Winningham Ln, Houston, TX 77055

The Noyes residence located at 8316 Winningham Ln., Houston, TX 77055 was purchased in November of 2017. A building construction permit was requested on April 27, 2022, with the intention of remodeling the home, including adding a second story over the existing garage (the "Project"). The plans submitted to the City of Spring Valley Village (the "City") were denied until variance request is completed and approved. The HOA of Brighton Place has reviewed and approved.

The construction of the first and second story portion of the garage and room addition remodel violates the exception language found within (Chap. 12 Sec. 05:02.03.09.04), (Chap. 12 Sec. 05:02.03.09.03), (Chap. 12 Sec. Three – DEFINITIONS 03:M01). The existing garage sits 2.9' from the side property line which is the same side setback as the new improvement garage. The rear setback has an 18" delta from acceptable 25' to 23'6". The balconies and eaves correspond with existing placement for side setback as current garage location.

- Special circumstances exist that are peculiar to the land or structure.
  - The Noyes plans submission to the city was placed requires variance due to existing side setback and rear side setback that will accommodate garage to fit 2022+ vehicle sizes compared to 1979 vehicle sizes which garage was originally designed for, comply with HOA by laws of a requirement of a 400sqft garage area and to allow for a 2-car garage.
- These special circumstances are not self-imposed or the result of the actions of the applicant.
  - Special circumstances are part of the existing layout of the home which does not allow for movement of garage to accommodate 8' side setback while maintaining a 2-car garage and complying with HOA by-laws of a minimum of 400sqft garage. This is the original garage built in 1979 and placement on lot.
- Literal interpretation and enforcement of the terms and provisions of the ordinance would cause an unnecessary and undue hardship.
  - The Noyes project compliance with the City required setbacks would cause undue hardship on the Noyes property by reducing the marketability of the home with a single car garage. Adhering to the side setback would cause a depreciation in the value and marketability of the property at 8316 Winningham Ln without a 2-car garage by approx.

>\$150,000 dollars. This would also potentially incur fines or penalties from Brighton Place HOA for non-compliance for minimum build standards.

- Granting the variance is a minimum action that will make use of the land or structure which is not contrary to the public interest, and which would carry out the spirit of the ordinance and would result in substantial justice.
  - Ability to maximize the lot space and utilize the existing structure setback to provide new garage and living space will provide additional use for the property. This would improve the value of the neighborhood and the value of the home substantially. This project has been reviewed with neighbors and approved in writing by HOA. (See attached letters and approvals)
- Such variance will not alter the essential character of the district in which it is located or the property for which the variance is sought.
  - Granting of variance will not alter the essential character of the district in which it is located. This will improve the value of the existing home, improve the value of the neighborhood, improve the value of the City of Spring Valley and has the full support of the Brighton Place HOA and adjoining neighbors (See attached letters and approvals.)
- Such variance will not authorize a use other than those uses specifically authorized for the district in which the property for which the variance is sought is located.
  - Correct, this will not authorize use other than those specifically authorized for the district. This is a single-family residence and will continue to serve and comply with city and neighborhood as a single-family residence.
- The variance will not adversely affect the health, safety or welfare of the public.
  - Correct, this will not affect the health, safety, or welfare of the public.

The Board may consider the following in relation to their decision on whether to grant a variance or not, please provide an answer to each of the following:

- The financial cost of compliance is greater than 50 percent of the appraised value of the structure as shown on the most recent appraisal roll certified to the assessor for the municipality under Section 26.01, Tax Code.
  - n/a
- Compliance would result in a loss to the lot on which the structure is located of at least 25 percent of the area on which development may physically occur.
  - Yes, compliance would result in loss of 28% of the area on which the development of the garage would occur.
- Compliance would result in the structure not being in compliance with a requirement of a municipal ordinance, building code, or other requirement.
  - Compliance would result in the structure would result in non-compliance of minimum building code for Brighton Place HOA requiring a 2-car garage (minimum 400sqft).
- Compliance would result in the unreasonable encroachment on an adjacent property or easement.
  - n/a
- The Municipality considers the structure to be a nonconforming structure.
  - n/a



**LEGEND** \* ITEMS THAT MAY APPEAR IN \*  
DRAWING BELOW

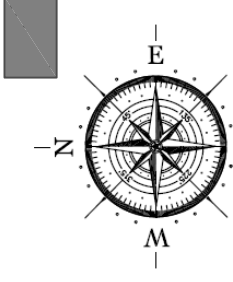
- M.U.E. - MUNICIPAL UTILITY EASEMENT
- U.E. - UTILITY EASEMENT
- A.E. - AERIAL EASEMENT
- D.E. - DRAINAGE EASEMENT
- S.S.E. - SANITARY SEWER EASEMENT
- STW.S.E. - STORM SEWER EASEMENT
- W.L.E. - WATER LINE EASEMENT

- F.I.R. - FOUND IRON ROD
- F.I.P. - FOUND IRON PIPE
- S.I.R. - SET IRON ROD
- W.P. - WOODEN POST
- M.P. - METAL POST
- C.F.# - CLERK'S FILE NUMBER
- P.O.C. - POINT OF COMMENCING
- P.O.B. - POINT OF BEGINNING
- B.L. - BUILDING LINE
- FND. - FOUND
- BRS. - BEARS

- P.A.E. - PERMANENT ACCESS EASEMENT
- P.U.E. - PUBLIC UTILITY EASEMENT
- M.E. - METRIC EASEMENT
- E.E. - ELECTRIC EASEMENT
- P.T. - POINT OF TANGENCY
- P.R.C. - POINT OF REVERSE CURVATURE
- P.C.C. - POINT OF COMPOUND CURVATURE
- P.P. - POWER POLE
- S.F.N.F. - SEARCHED FOR, NOT FOUND
- U.T.S. - UNABLE TO SET

- CONTROL MONUMENT
- PROPERTY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- BUILDING WALL

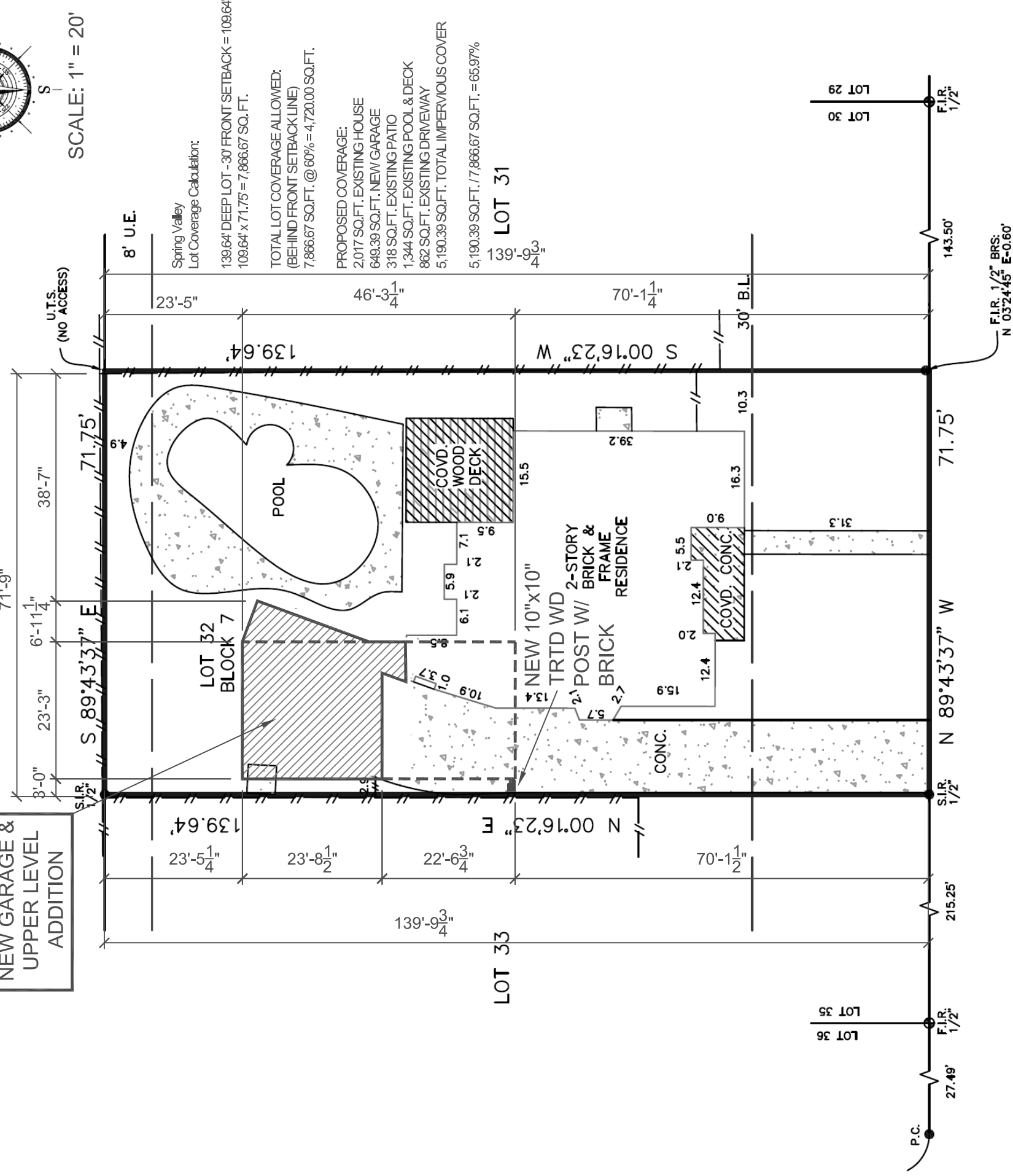
- WOODEN FENCE
- CHAIN LINK FENCE
- METAL FENCE
- WIRE FENCE
- VINYL FENCE



SCALE: 1" = 20'

LOT 20  
71'-9"

NEW GARAGE &  
UPPER LEVEL  
ADDITION



8316 WINNINGHAM LANE  
(50' R.O.W.)

Reviewed & Accepted by: \_\_\_\_\_

Date \_\_\_\_\_

Date \_\_\_\_\_

**LEGAL DESCRIPTION**

LOT 32, IN BLOCK 7 OF BRIGHTON PLACE, A SUBDIVISION IN HARRIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 241, PAGE 1 OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS.

ADAM GARRETT NOYES  
JAMIE FOSTER NOYES

**ADDRESS**

8316 WINNINGHAM LANE



I DO HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON (OR ON ATTACHED SHEET), AND THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN, AND WAS DONE BY ME OR UNDER MY SUPERVISION, AND CONFORMS TO OR EXCEEDS THE CURRENT STANDARDS AS ADOPTED BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING.

JOB # 1710512

DATE 11-2-17

GF# 17004715

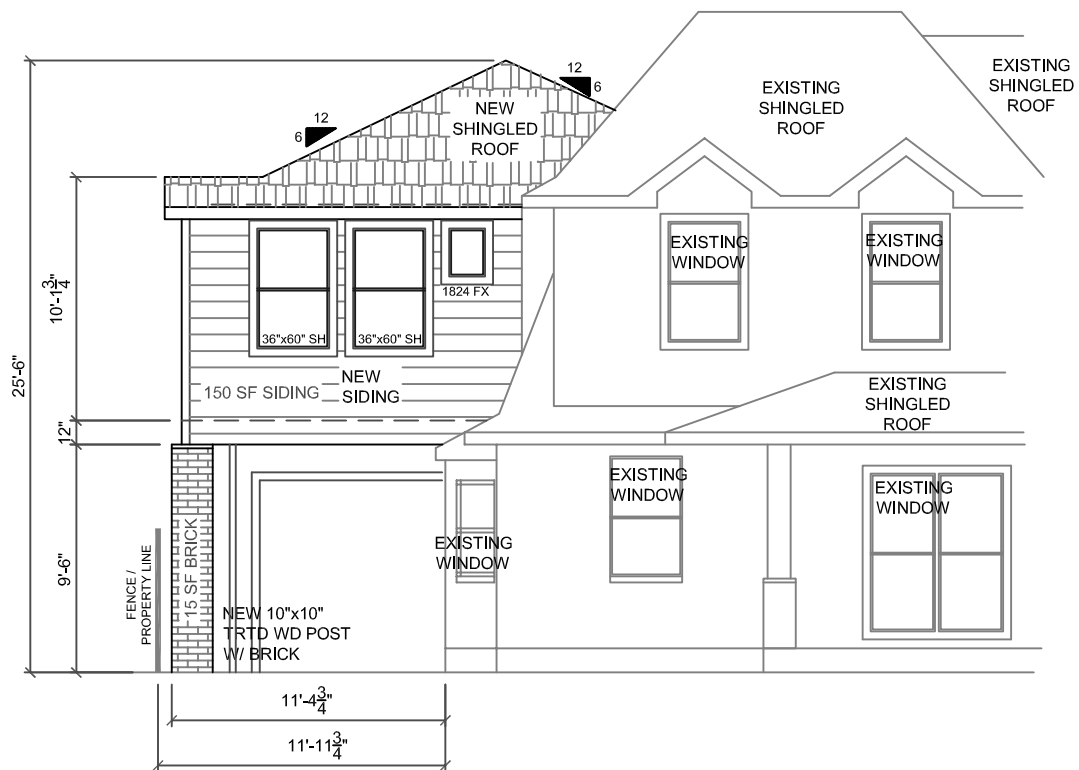
**PRO-SURV**

P.O. BOX 1366, FRIENDSWOOD, TX 77549  
PHONE-281-996-1113 FAX - 281-996-0112

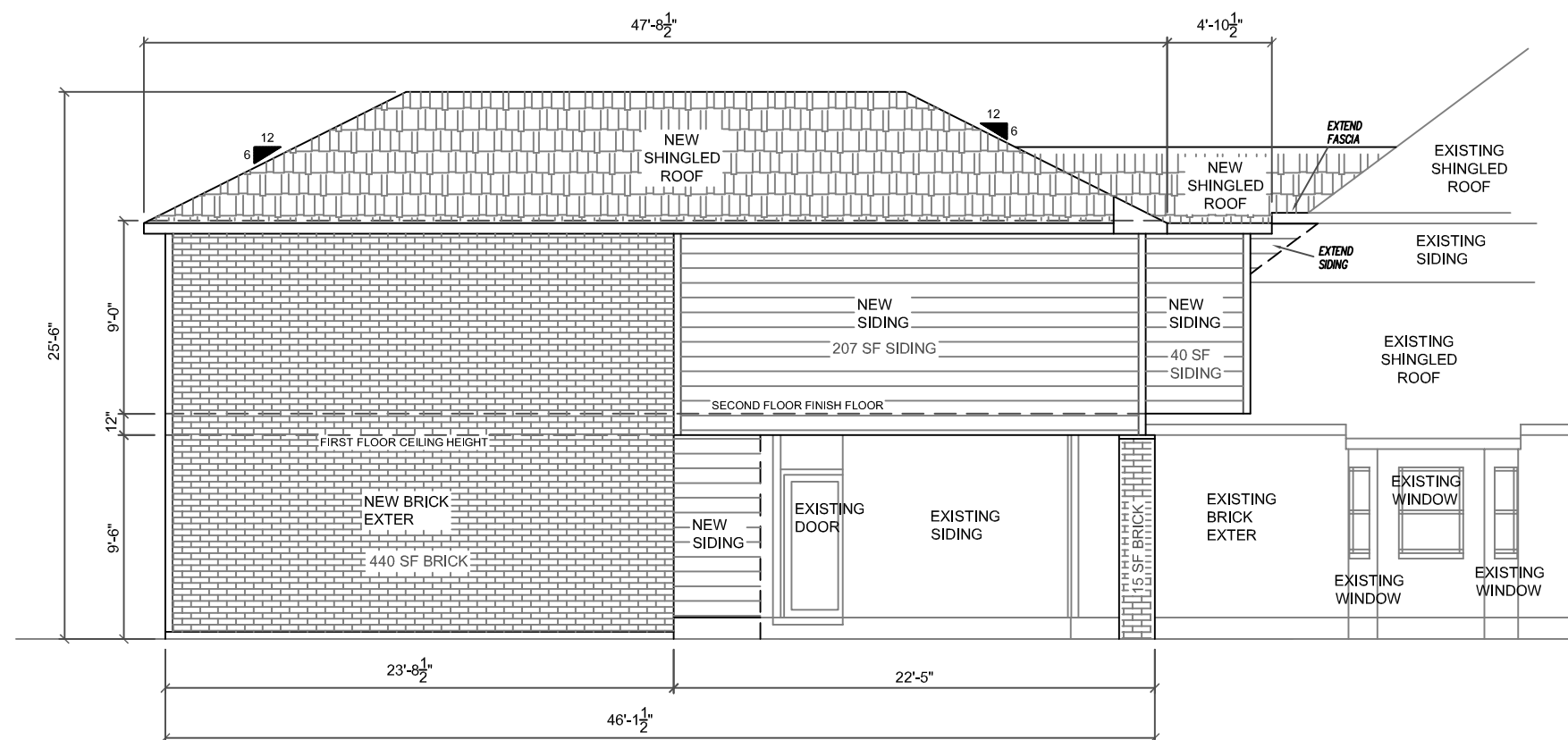
EMAIL: orders@prosurv.net  
TBPLS FIRM NO.:10119300

ONLY SURVEY MAPS WITH THE SURVEYOR'S ORIGINAL SIGNATURE ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.

© 2017 PRO-SURV - ALL RIGHTS RESERVED



FRONT ELEVATION  
(STREET VIEW)  
SCALE: 1/8" = 1'-0"



SIDE ELEVATION  
SCALE: 1/8" = 1'-0"

DESIGN LOADS:

2018 INTERNATIONAL RESIDENTIAL CODE  
2017 NATIONAL ELECTRICAL CODE  
ULTIMATE WIND LOAD DESIGN = 140 MPH  
ROOF LIVE LOAD = 20.0 PSF  
ROOF DEAD LOAD = 10.0 PSF  
FLOOR LIVE LOAD = 40.0 PSF  
FLOOR DEAD LOAD = 10.0 PSF

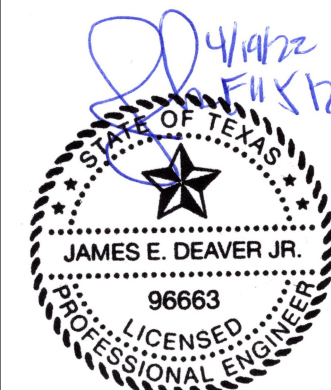
THESE PLANS ARE AN OUTLINE OF MINIMUM SPECIFICATIONS NOTED IN SALES CONTRACT AND SIGNED BETWEEN CONTRACTOR AND OWNER. IT IS THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO REVIEW AND NOTIFY ALL PARTIES INVOLVED OF ANY DISCREPANCIES BETWEEN CONTRACT AND PLANS. FOR ALL SALES ITEMS SUCH AS, BUT NOT LIMITED TO SIZE OF PROJECT, QUANTITY OF MECH, ELEC, AND PLUMBING ITEMS, CONTRACT SHALL TAKE PRECEDENCE. ANY FORM OF STRUCTURAL, FABRICATION OR ASSEMBLY DETAILS, PLANS SHALL TAKE PRECEDENCE.

TDI INFO:

All products such as doors, windows, shingles, siding, any roof penetration product (ridge vent, roof jacks, roof vents, etc.), etc. must have current TDI approval as stated on the Product evaluation index

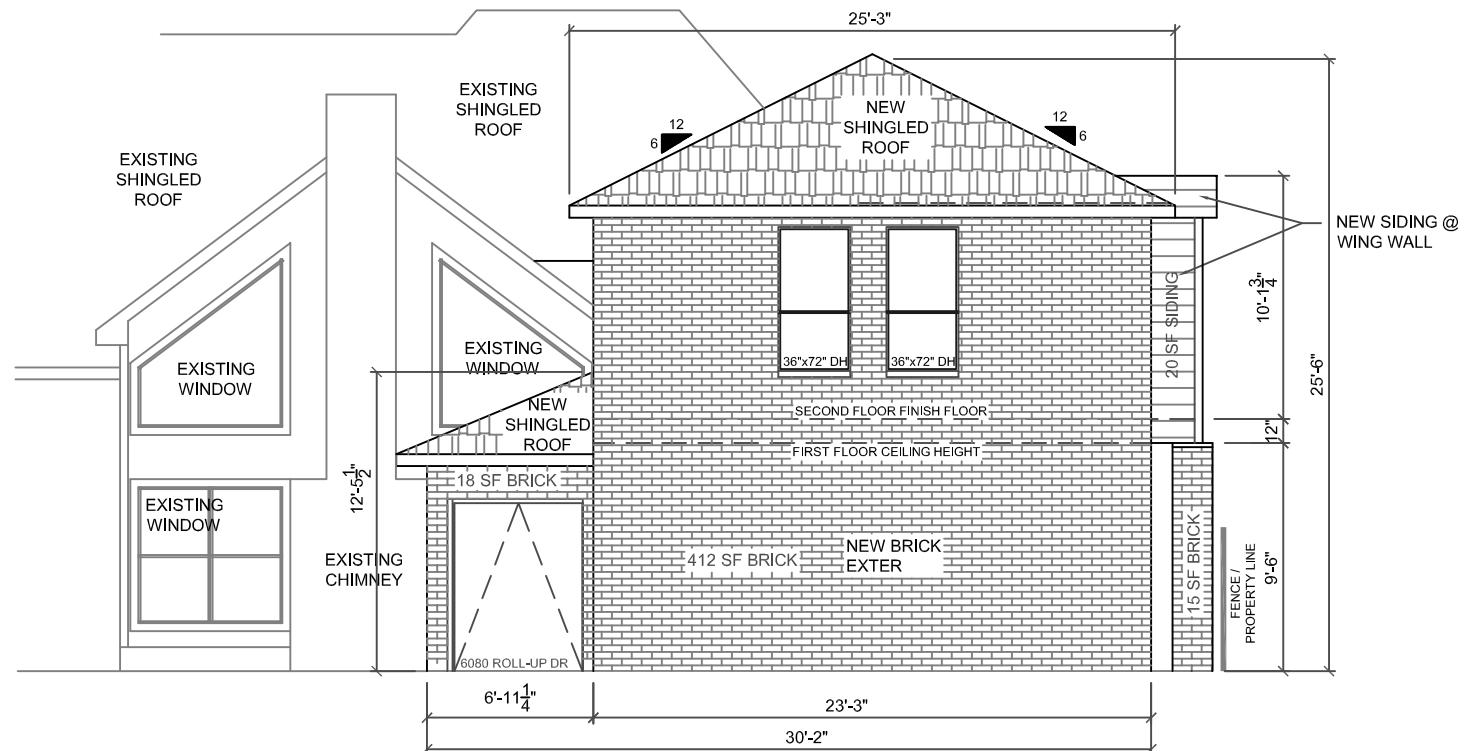
Plans do not include TDI Windstorm Inspections and Filing. If WPI-8 is desired, engineer to be notified prior to installation of concrete, cover up of framing and roof decking, and prior to project completion in order to perform inspection for Windstorm

Engineer:

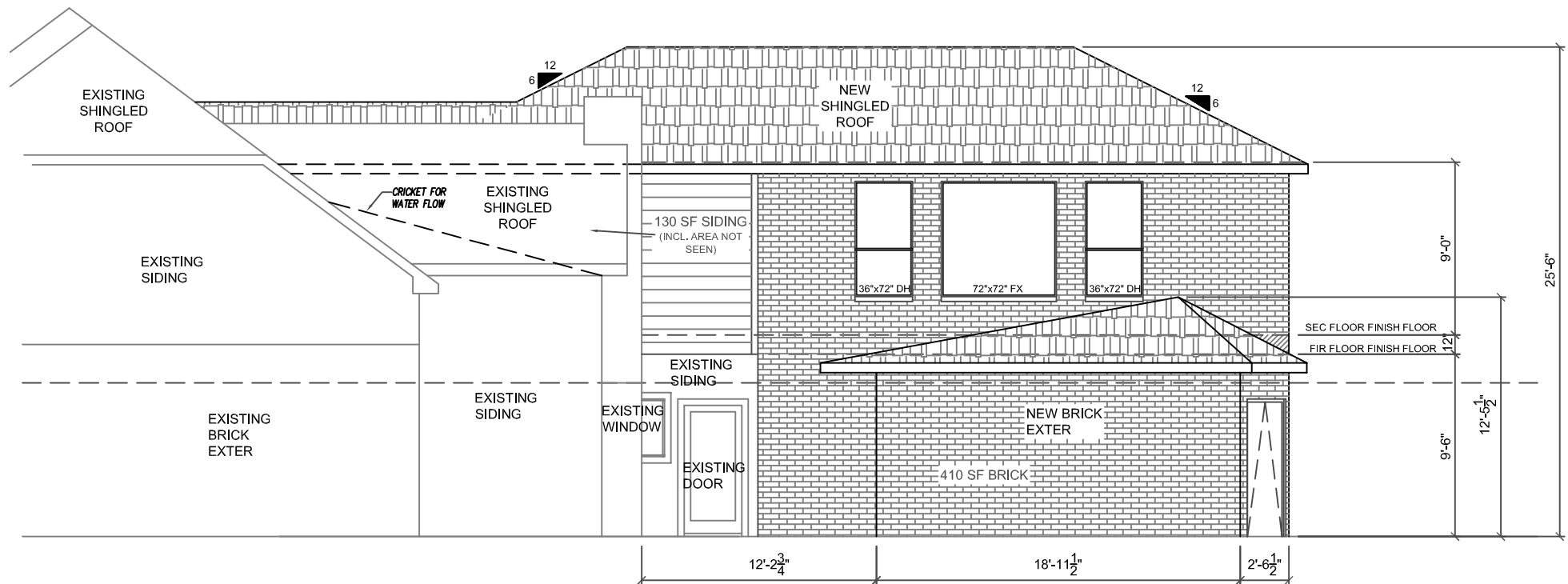


Project Name and Address  
Noyes Residence  
8316 Winningham Ln  
Houston, TX 77055

Project: 22-01011 Sheet  
Date: A1  
Scale:



REAR ELEVATION  
SCALE: 1/8" = 1'-0"



SIDE ELEVATION  
SCALE: 1/8" = 1'-0"

DESIGN LOADS:

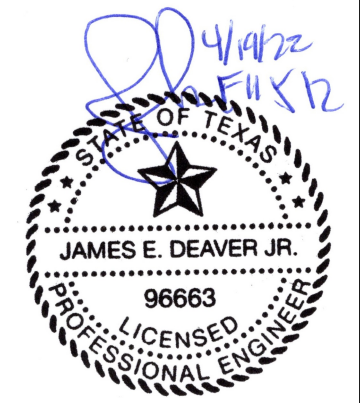
2018 INTERNATIONAL RESIDENTIAL CODE  
2017 NATIONAL ELECTRICAL CODE  
ULTIMATE WIND LOAD DESIGN = 140 MPH  
ROOF LIVE LOAD = 20.0 PSF  
ROOF DEAD LOAD = 10.0 PSF  
FLOOR LIVE LOAD = 40.0 PSF  
FLOOR DEAD LOAD = 10.0 PSF

THESE PLANS ARE AN OUTLINE OF MINIMUM SPECIFICATIONS NOTED IN SALES CONTRACT AND SIGNED BETWEEN CONTRACTOR AND OWNER. IT IS THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO REVIEW AND NOTIFY ALL PARTIES INVOLVED OF ANY DISCREPANCIES BETWEEN CONTRACT AND PLANS. FOR ALL SALES ITEMS SUCH AS, BUT NOT LIMITED TO SIZE OF PROJECT, QUANTITY OF MECH, ELEC, AND PLUMBING ITEMS, CONTRACT SHALL TAKE PRECEDENCE. ANY FORM OF STRUCTURAL, FABRICATION OR ASSEMBLY DETAILS, PLANS SHALL TAKE PRECEDENCE.

TDI INFO:

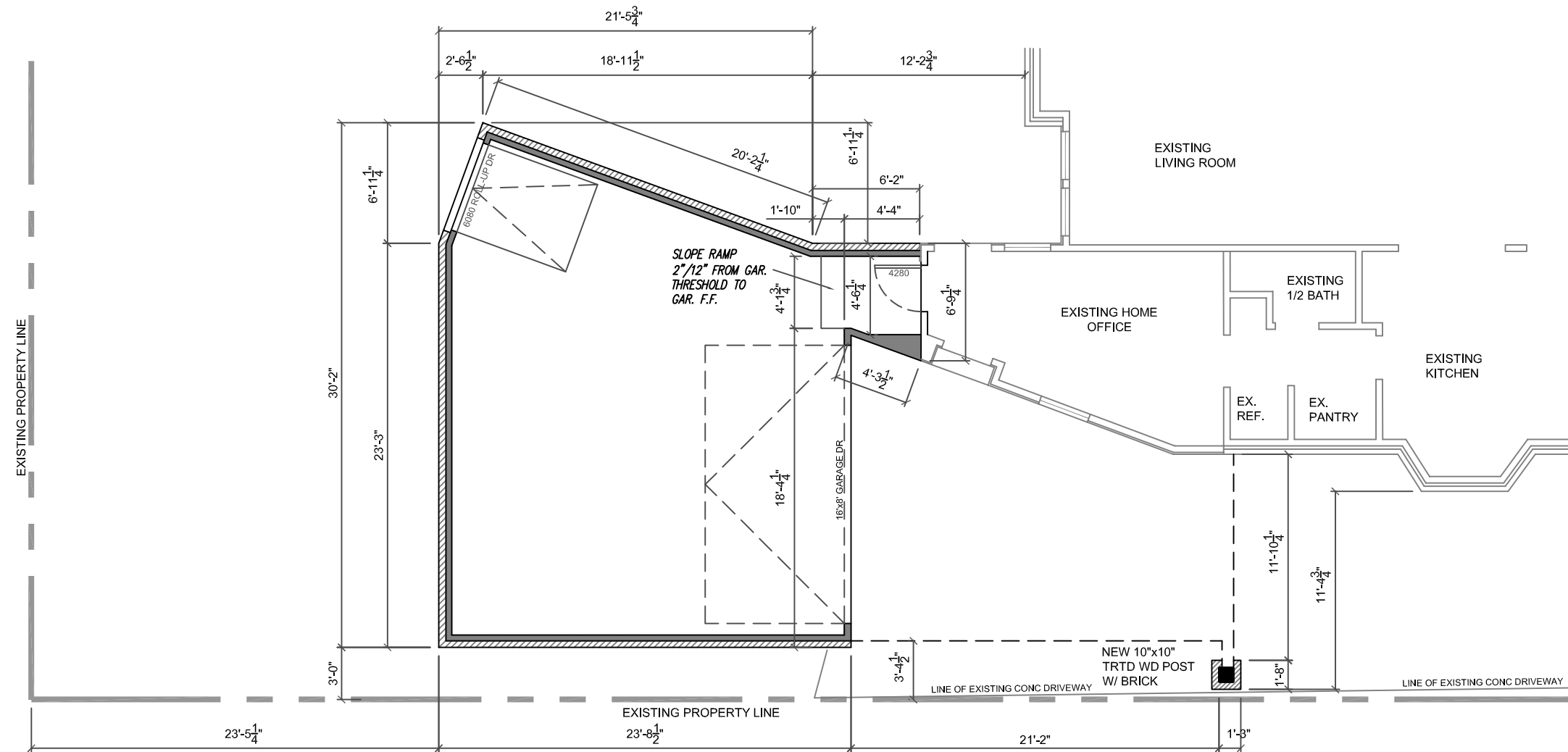
All products such as doors, windows, shingles, siding, any roof penetration product (ridge vent, roof jacks, roof vents, etc.), etc. must have current TDI approval as stated on the Product evaluation index  
Plans do not include TDI Windstorm Inspections and Filing. If WPI-8 is desired, engineer to be notified prior to installation of concrete, cover up of framing and roof decking, and prior to project completion in order to perform inspection for Windstorm

Engineer:



Project Name and Address  
Noyes Residence  
8316 Wunningham Ln  
Houston, TX 77055

Project:22-01011	Sheet
Date:	A2
Scale	



PROPOSED GARAGE / FIRST FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

DESIGN LOADS:

2018 INTERNATIONAL RESIDENTIAL CODE  
 2017 NATIONAL ELECTRICAL CODE  
 ULTIMATE WIND LOAD DESIGN = 140 MPH  
 ROOF LIVE LOAD = 20.0 PSF  
 ROOF DEAD LOAD = 10.0 PSF  
 FLOOR LIVE LOAD = 40.0 PSF  
 FLOOR DEAD LOAD = 10.0 PSF

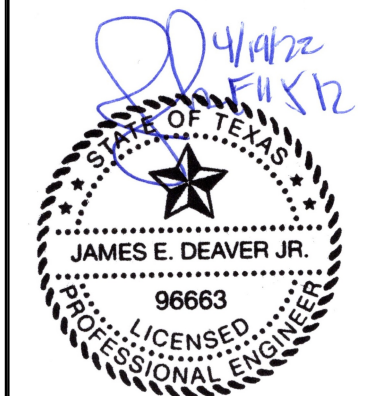
THESE PLANS ARE AN OUTLINE OF MINIMUM SPECIFICATIONS NOTED IN SALES CONTRACT AND SIGNED BETWEEN CONTRACTOR AND OWNER. IT IS THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO REVIEW AND NOTIFY ALL PARTIES INVOLVED OF ANY DISCREPANCIES BETWEEN CONTRACT AND PLANS. FOR ALL SALES ITEMS SUCH AS, BUT NOT LIMITED TO SIZE OF PROJECT, QUANTITY OF MECH, ELEC, AND PLUMBING ITEMS, CONTRACT SHALL TAKE PRECEDENCE. ANY FORM OF STRUCTURAL, FABRICATION OR ASSEMBLY DETAILS, PLANS SHALL TAKE PRECEDENCE.

TDI INFO:

All products such as doors, windows, shingles, siding, any roof penetration product (ridge vent, roof jacks, roof vents, etc.), etc. must have current TDI approval as stated on the Product evaluation index

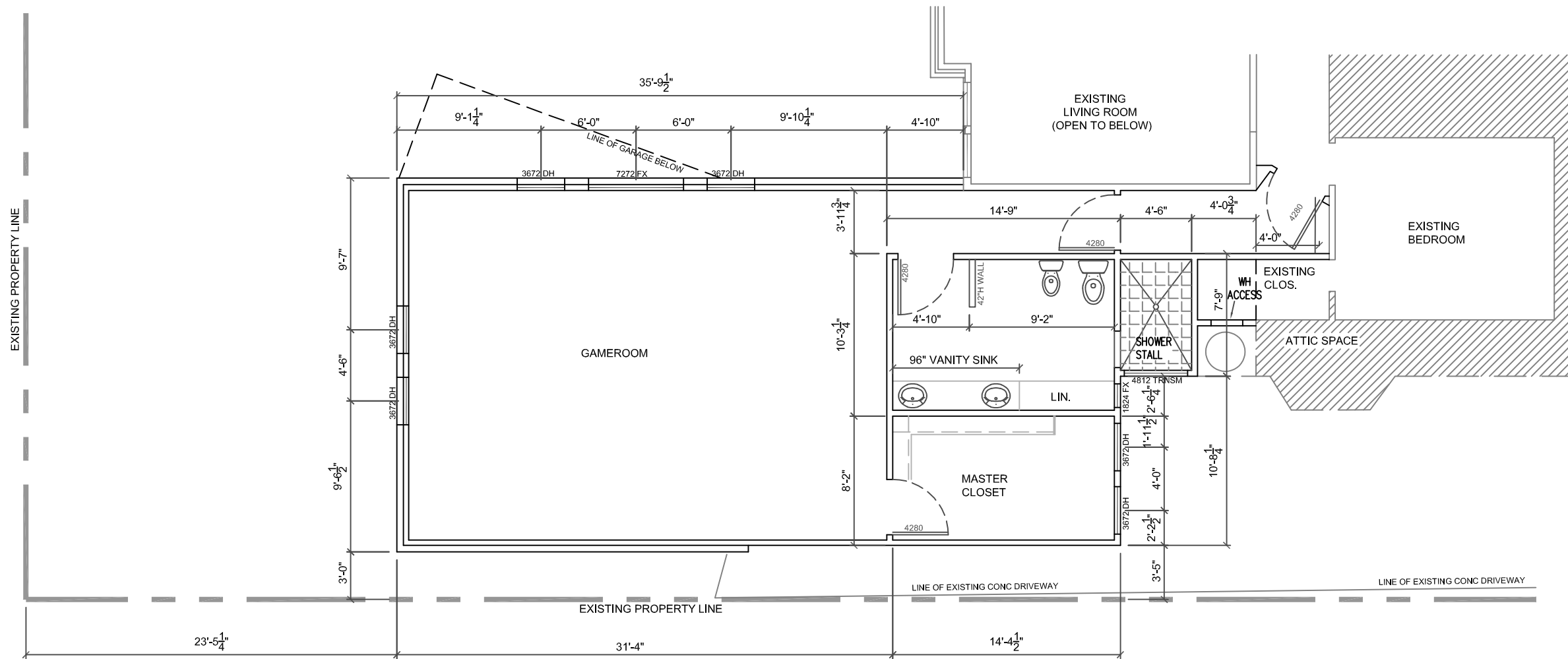
Plans do not include TDI Windstorm Inspections and Filing. If WPI-8 is desired, engineer to be notified prior to installation of concrete, cover up of framing and roof decking, and prior to project completion in order to perform inspection for Windstorm

Engineer:



Project Name and Address  
 Noyes Residence  
 8316 Winningham Ln  
 Houston, TX 77055

Project:22-01011	Sheet
Date:	A3
Scale	



SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

DESIGN LOADS:

2018 INTERNATIONAL RESIDENTIAL CODE  
2017 NATIONAL ELECTRICAL CODE  
ULTIMATE WIND LOAD DESIGN = 140 MPH  
ROOF LIVE LOAD = 20.0 PSF  
ROOF DEAD LOAD = 10.0 PSF  
FLOOR LIVE LOAD = 40.0 PSF  
FLOOR DEAD LOAD = 10.0 PSF

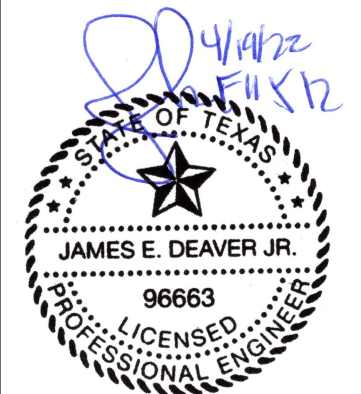
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TDI INFO:

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Plans do not include TDI Windstorm Inspections and Filing. If WPI-8 is desired, engineer to be notified prior to installation of concrete, cover up of framing and roof decking, and prior to project completion in order to perform inspection for Windstorm

Engineer:



Project Name and Address  
Noyes Residence  
8316 Wunningham Ln  
Houston, TX 77055

Project:22-01011	Sheet
Date:	A4
Scale	

# GENERAL NOTES

1. THE FOLLOWING SPECIFICATIONS ARE AN OUTLINE OF MINIMUM MATERIAL REQUIREMENTS AND THEIR APPLICATION. MANUFACTURER SPECIFICATION AND LOCAL CODE REQUIREMENTS WHEN IN EXCESS OF MINIMUM SPECIFICATIONS SHALL CONTROL. IT IS THE CONTRACTORS RESPONSIBILITY TO REVIEW AND SUBMIT ALL SHOP DRAWINGS AND REPORT ALL DOCUMENTS DISCREPANCIES TO THE STRUCTURAL ENGINEER PRIOR TO FABRICATION OR ERECTION.

2. AT CONSTRUCTION ISSUE, THESE DRAWINGS REPRESENT STRUCTURAL COMPONENTS IN THEIR FINAL AND FINISHED STATE. CONSTRUCTION PROCEDURES, METHODS, SAFETY PRECAUTIONS OR MECHANICAL REQUIREMENTS USED TO ERECT THEM ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR OR SUBCONTRACTOR DOING THE WORK.

## CONCRETE NOTES AND SPECIFICATIONS:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE "A.C.I. BUILDING CODE", ACI 318 AND ACI 301, LATEST EDITION.
2. DETAILING, FABRICATION AND PLACING OR REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ACI 315-90, "ACI DETAILING MANUAL - 1990".
3. UNLESS OTHERWISE NOTED ALL REINFORCING BARS SHALL CONFIRM TO ASTM A-615 GRADE 60 (60,000 PSI YIELD) AND ALL DOWELS AND STIRRUPS SHALL CONFORM TO GRADE 40 (40,000 PSI YIELD). REINFORCING SHALL BE FREE FROM OIL, DIRT AND OTHER MATERIALS THAT WOULD REDUCE THE BOND WITH THE CONCRETE.
4. WELDED WIRE MESH SHALL BE IN ACCORDANCE TO ASTM A185. PROVIDE MESH IN FLAT SHEETS. WELDED WIRE MESH SHALL BE SUPPORTED TO MID-DEPTH BY CHAIRS SPACED @ 48" O.C. EACH WAY. LAP WELDED WIRE MESH ONE FULL MESH AT SIDE AND END LAPS.
5. UNLESS OTHERWISE NOTED, CONCRETE REINFORCING STEEL COVERAGE SHALL BE AS SPECIFIED IN THE "A.C.I. BUILDING CODE". (A.C.I. 318 LATEST EDITION).
6. REINFORCING STEEL COVERAGE OF POURED-IN-PLACE MEMBERS: SEE SECTION 7.7 ACI 318 LATEST EDITION.

STRUCTURAL ELEMENT	MINIMUM COVER (INCHES)	W/C RATIO
FOOTINGS	3" ALL SURFACES	0.52
GRADE BEAMS	3" BOTTOM, 2" SIDES, 1 1/2" TOPS	0.52
SLAB ON GRADE	1 1/2" TOP & BOTTOM	0.52
WALLS	1 1/2"	0.52

7. ALL CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI. PORTLAND CEMENT SHALL CONFORM TO ASTM C150, TYPE 1. MINIMUM OF 5 SACKS OF CEMENT PER CUBIC YARD.
8. FLYASH MAY BE USED TO REPLACE A PORTION OF THE PORTLAND CEMENT. THE RATIO OF FLYASH TO THE TOTAL FLYASH AND CEMENT IN A MIX SHALL NOT EXCEED 20%. FLYASH SHALL CONFORM TO ASTM C618. TYPE C OR F.
9. NO WATER SHALL BE ADDED TO THE CONCRETE AT THE JOBSITE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE CONCRETE SUPPLIER TO ENSURE A WORKABLE MIX WITHOUT THE ADDITION OF WATER AT THE JOBSITE. THE USE OF PLASTICIZERS, RETARDANTS AND OTHER ADDITIVES SHALL BE AT THE OPTION OF THE CONTRACTOR SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER. FOLLOW THE RECOMMENDATIONS OF THE MANUFACTURER FOR THE PROPER USE OF ADDITIVES. THE USE OF CALCIUM CHLORIDE OR OTHER CHLORIDE BEARING SALTS SHALL NOT BE PERMITTED.

10. MAXIMUM SLUMP IN CONCRETE SHALL NOT EXCEED 5" IN FLATWORK.

11. ALL REINFORCING STEEL SHALL BE LAPPED PER THE "REINFORCING SPLICE SCHEDULE" AT SPLICES AND AROUND CORNERS OR INTERSECTIONS WITH A STANDARD 90 DEGREE BEND ON CORNER BARS. LAP TOP BARS AT CENTER OF SPAN; LAP BOTTOM BARS AT SUPPORTS. LAP WELDED WIRE MESH ONE FULL MESH AT SIDE AND END LAPS.

## REINFORCING SPLICE SCHEDULE

REINF. SIZE	CONCRETE STRENGTH (PSI)				
	3000	4000	5000	6000	7000
#3	22"	19"	17"	16"	14"
#4	29"	25"	23"	21"	19"
#5	36"	31"	28"	26"	24"
#6	43"	37"	34"	31"	28"

12. PLACE CONCRETE IN A MANNER SO AS TO PREVENT SEGREGATION OF THE MIX. DELAY FLOATING AND TROWELING OPERATIONS UNTIL CONCRETE HAS LOST SURFACE WATER SHEEN OR ALL FREE WATER. DO NOT SPRINKLE FREE CEMENT ON THE SLAB SURFACE. FINISHING OF SLAB SURFACES SHALL COMPLY WITH THE RECOMMENDATIONS OF AC1 302.1 AND 304.

## FOUNDATION NOTES:

1. FOOTINGS DESIGN OF FOUNDATION IS BASED ON A MINIMUM SOIL BEARING PRESSURE OF 3500 P.S.F. NET ALLOWABLE BEARING. THIS ENGINEER ACCEPTS NO RESPONSIBILITY FOR VERIFICATION OF ACTUAL-ON SITE SOIL BEARING CAPACITY.
2. EXCAVATION FOR FOOTINGS SHALL BE NEAT.
3. FOOTINGS SHALL BE POURED IMMEDIATELY AFTER EXCAVATION.
4. STRUCTURAL STEEL REINFORCING SHALL BE INSTALLED AS INDICATED IN THE FOUNDATION DETAILS. ALL STEEL REINFORCEMENT SHALL BE LAPPED PER THE "REINFORCING SPLICE SCHEDULE" AT SPLICES AND AROUND CORNERS.
5. FOOTING AND GRADE BEAM BOTTOM REINFORCEMENT SHALL BE SUPPORTED ON CHAIRS SPACED @ 48" O.C. MAXIMUM SPACING.
6. CLEAN TOPS OF PIERS AND GRADE BEAM TRENCHES THOROUGHLY PRIOR TO PLACEMENT OF CONCRETE IN GRADE BEAMS.
7. SEE ARCHITECTURAL DRAWINGS FOR FLOOR ELEVATIONS, SLOPES AND THE LOCATION OF FLOOR DEPRESSIONS.
8. CONCRETE SHALL BE PLACED ON COMPACTED OR UNDISTURBED SOIL FREE FROM FOREIGN MATERIALS. STRIP THE CONSTRUCTION AREA TO REMOVE ALL VEGETATION, TREE ROOTS, ORGANIC TOP SOIL, LIMBS, STUMPS AND ANY UNDESIRABLE MATERIALS.
9. THERE SHALL BE NO PLUMBING LINES RUNNING PARALLEL TO, WITHIN OR DIRECTLY UNDER ANY FOUNDATION BEAM. THEY MAY CROSS AT RIGHT ANGLES.
10. PLACE A MIN. 6 MIL VAPOR BARRIER OF POLYETHYLENE (ASTM E 154 APPROVED) UNDER ALL CONCRETE SLABS. LAP ALL JOINTS 12".
11. INSTALL W/6X6 W1.4 X W1.4 WWR WELDED WIRE MESH THROUGHOUT THE SLAB. LAP WELDED WIRE MESH ONE FULL MESH AT SIDE AND END LAPS.
12. MUDSILL ANCHORAGE TO BE ACHIEVED WITH SIMPSON SSTB16 EMBEDDED A MINIMUM OF 7" INTO CONCRETE, SPACED A MAXIMUM OF 4'-0" ON CENTER & AT EACH END OF MUDSILL.

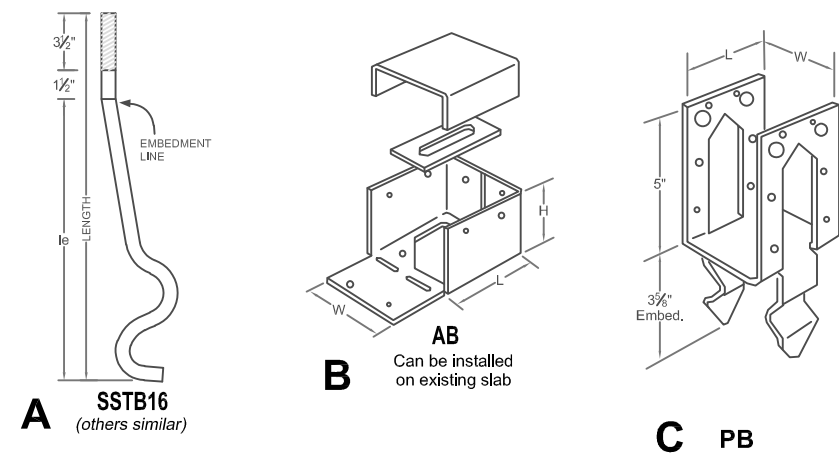
## SUBGRADE PREPARATION AND FILL:

1. STRIP A MINIMUM OF 6" OF THE EXISTING SURFICIAL SOILS OF ALL AREAS WITHIN BUILDING LINES.
2. FOLLOWING STRIPPING, PROOF ROLL EXPOSED SUBGRADE TO IDENTIFY WEAK OR SOFT AREAS. SUCH ZONES SHALL BE REMOVED AND REPLACED WITH SELECT FILL.
3. GRADE AREA TO PREVENT PONDING OF WATER. DO NOT ALLOW EXPOSED SUBGRADE TO DRY.
4. ALL FILL SHALL BE SELECT MATERIALS AS FOLLOWS:  
LEAN SANDY CLAY, FREE OF ORGANIC MATTER  
PLASTICITY INDEX (PI): 5 TO 20%  
LIQUID LIMIT: 28 TO 40%
5. FILL SHALL BE PLACED IN MAXIMUM LOOSE LIFTS UP TO 8" AND COMPACTED TO AT LEAST 95% OF STANDARD PROCTOR (ASTM D 698) MAXIMUM DRY DENSITY AT A MOISTURE CONTENT RANGING WITHIN 2% OF OPTIMUM MOISTURE CONTENT.
6. PROVIDE 2 - 8" LOOSE LIFTS OF COMPACTED FILL (COMPACTED FILL THICKNESS NOT TO EXCEED 12") AND 8" OF LEVELING SAND. (NOTE - EXISTING GRADE MAY HAVE TO BE CUT TO ACHIEVE THE COMPACTED FILL DEPTH SPECIFIED HEREIN)
7. TESTING: ALL COMPACTED FILL SHALL BE TESTED BY A CERTIFIED TESTING AGENCY AT THE RATE OF ONE TEST PER 1000 SQUARE FEET OF EACH LIFT.

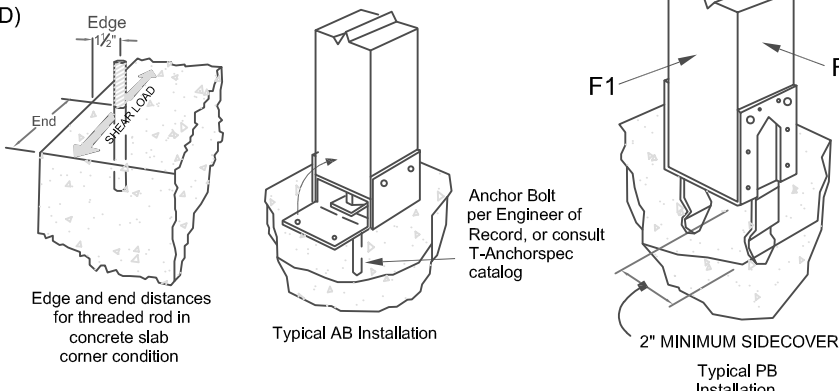
## SITE DRAINAGE:

1. IT IS RECOMMENDED THAT THE SITE DRAINAGE BE WELL DEVELOPED. SURFACE WATER SHOULD BE DIRECTED AWAY FROM THE FOUNDATION. (USE A MINIMUM SLOPE OF 5% WITHIN 10 FEET OF THE FOUNDATION) NO PONDING OF SURFACE WATER SHALL BE ALLOWED NEAR THE STRUCTURE DURING OR AFTER COMPLETION OF THE CONSTRUCTION & THE LANDSCAPING. THE BUILDER SHALL ADVISE THE OWNER OF THE SITE DRAINAGE REQUIREMENTS.

## RECOMMENDED SIMPSON INSTALLATIONS



## TYPICAL SIMPSON INSTALLATIONS



## DESIGN LOADS:

2018 INTERNATIONAL RESIDENTIAL CODE  
2017 NATIONAL ELECTRICAL CODE  
ULTIMATE WIND LOAD DESIGN = 140 MPH  
ROOF LIVE LOAD = 20.0 PSF  
ROOF DEAD LOAD = 10.0 PSF  
FLOOR LIVE LOAD = 40.0 PSF  
FLOOR DEAD LOAD = 10.0 PSF

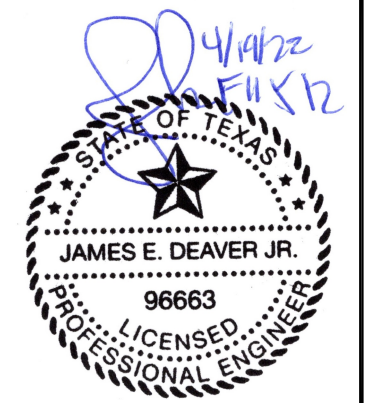
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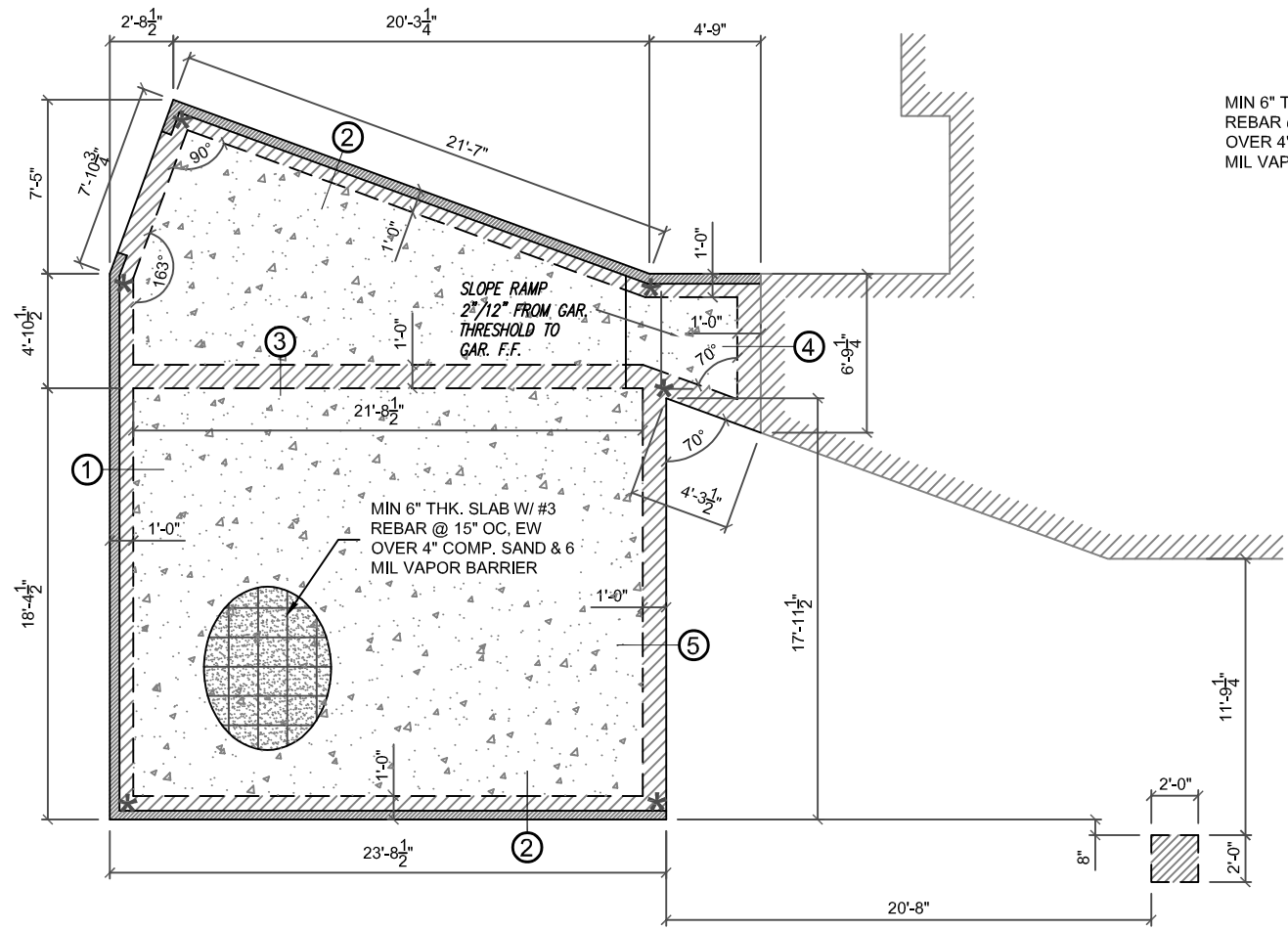
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Engineer:

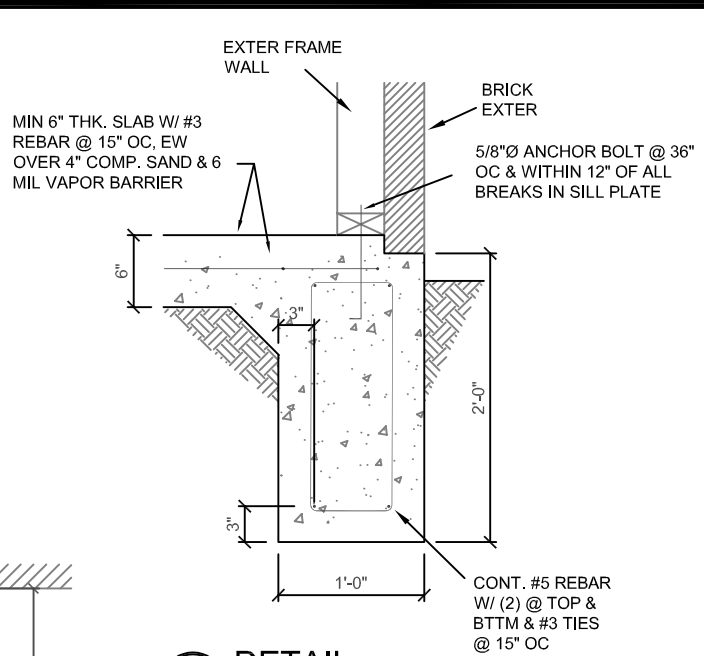


Project Name and Address  
Noyes Residence  
8316 Wunningham Ln  
Houston, TX 77055

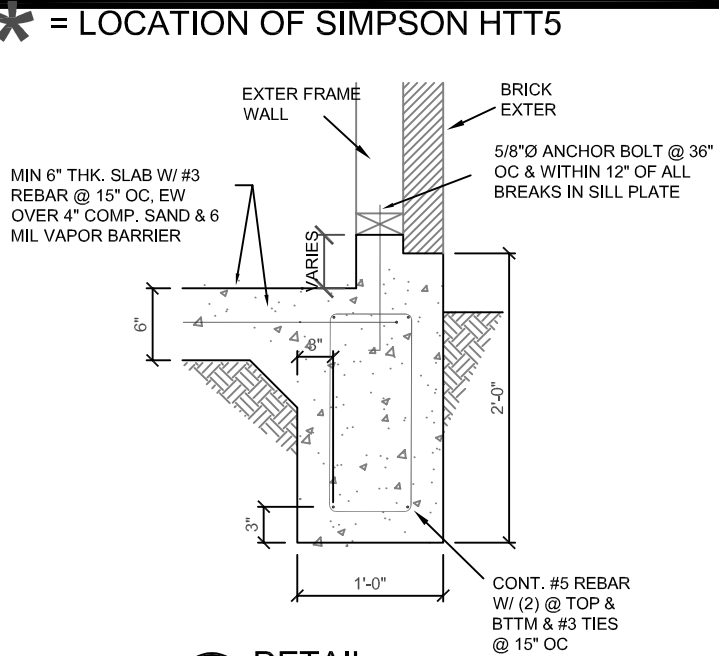
Project: 22-01011 Sheet  
Date: S1  
Scale:



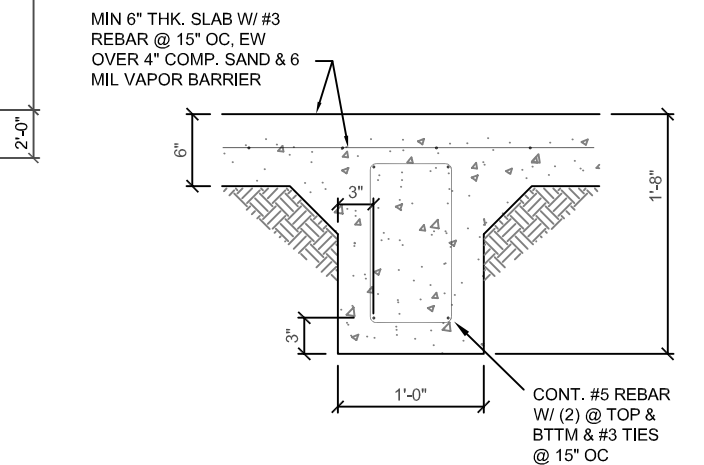
**FOUNDATION PLAN**  
SCALE: 1/8" = 1'-0"  
\* = LOCATION OF SIMPSON HTT5



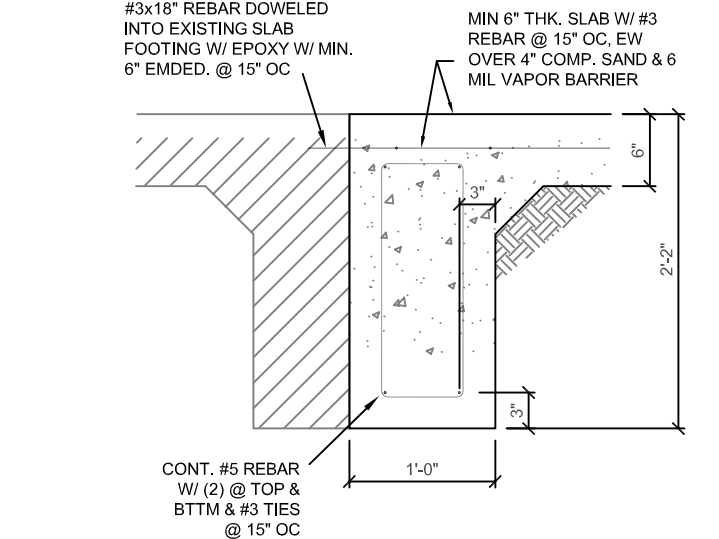
**1 DETAIL**  
SCALE: NTS



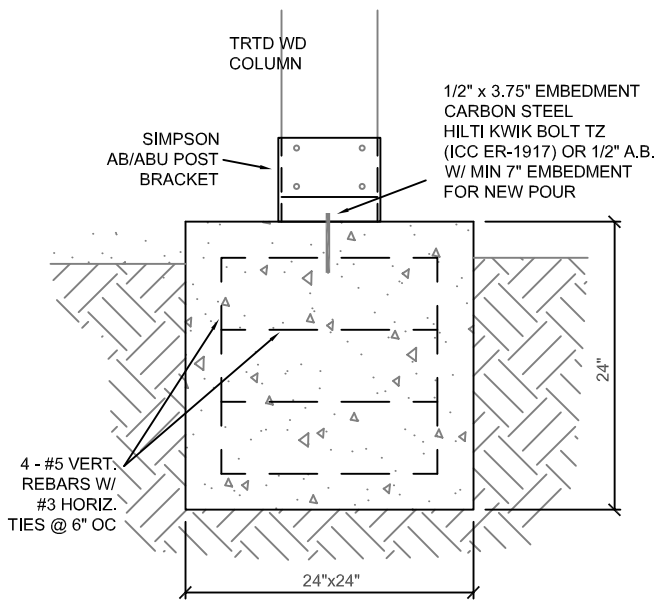
**2 DETAIL**  
SCALE: NTS



**3 DETAIL**  
SCALE: NTS

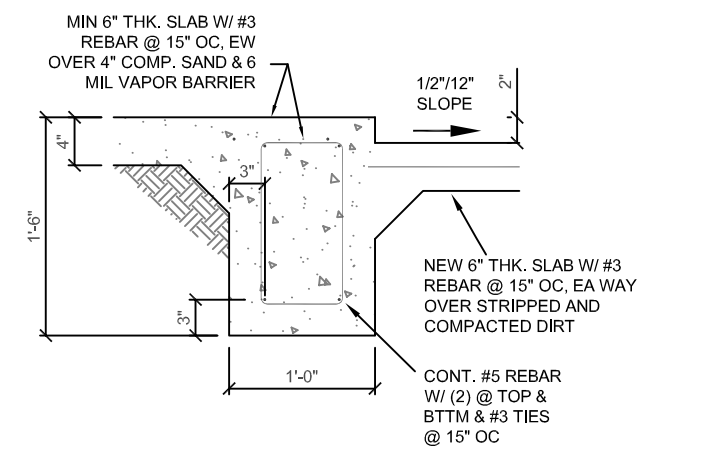


**4 DETAIL**  
SCALE: NTS



**FOOTING DETAIL**  
SCALE: NTS

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2. EXCAVATION FOR FOOTINGS SHALL BE NEAT AND FREE OF DEBRIS AND STANDING WATER.
3. FOOTINGS SHALL BE POURED IMMEDIATELY AFTER EXCAVATION AND INSPECTION.



**5 DETAIL**  
SCALE: NTS

\* = LOCATION OF SIMPSON HTT5

**DESIGN LOADS:**

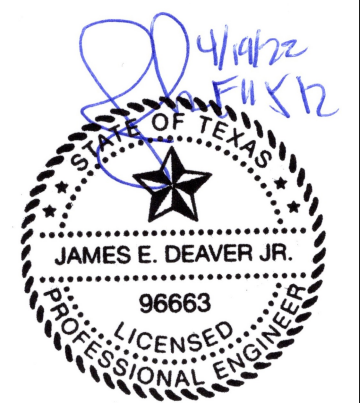
2018 INTERNATIONAL RESIDENTIAL CODE  
2017 NATIONAL ELECTRICAL CODE  
ULTIMATE WIND LOAD DESIGN = 140 MPH  
ROOF LIVE LOAD = 20.0 PSF  
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**Engineer:**



**Project Name and Address**  
Noyes Residence  
8316 Winningham Ln  
Houston, TX 77055

Project: 22-01011	Sheet
Date:	S2
Scale:	

# GENERAL NOTES: WOOD FRAMING

1. LUMBER AND ITS FASTENINGS, SHALL CONFORM TO THE "NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION, LATEST EDITION. FRAMING PRACTICES TO ADHERE TO THE IRC 2018 CODE.

MINIMUM GRADE OF FRAMING MATERIALS (ALL MATERIAL MUST BE GRADE MARKED):

BEAMS AND HEADERS	NO. 2 KD SOUTHERN YELLOW PINE (SYP) S4S
TOP PLATES	NO. 2 KD SOUTHERN YELLOW PINE (SYP) S4S
WALL STUDS	NO. 3 KD SOUTHERN YELLOW PINE (SYP) S4S
SILL PLATES	NO. 3 KD SOUTHERN YELLOW PINE (SYP) S4S
WOOD POSTS	NO. 2 SYP SURFACE GREEN
FLOOR JOISTS	NO. 2 KD SOUTHERN YELLOW PINE (SYP) S4S
ROOF FRAMING	NO. 2 KD SOUTHERN YELLOW PINE (SYP) S4S

HEM FIR, SPRUCE OR OTHER SOFTWOODS SHALL NOT BE USED UNLESS SPECIFICALLY PROVIDED FOR IN THESE DRAWINGS.

\*\* ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED LUMBER. ALL EXTERIOR COLUMNS TO BE PRESSURE TREATED

### BEAM HEADERS

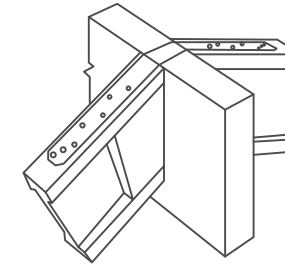
- BEAMS MADE OF MULTI-PLY 2x\_ MATERIAL, EACH PLY MUST BEAR ON THE WALL STUD (EG. INSTALL SAME # OF STUDS UNDER BEAMS AS # OF PLYS IN BEAM)
- ALL BEAMS MADE UP OF A NUMBER OF 2x\_ MATERIAL AND 1/2" CONTINUOUS PLYWOOD FLITCH SHALL BE FASTENED TOGETHER TO ACT AS A UNIT AS FOLLOWS:
  - 2x6 2 ROWS 16d NAILS SPACED @ 9" O.C. STAGGERED
  - 2x8, 2x10 3 ROWS 16d NAILS SPACED @ 9" O.C. STAGGERED
  - 2x12 4 ROWS 16d NAILS SPACED @ 9" O.C. STAGGERED W/ 1/2" DIA BOLTS @ 24" O.C. (W/ STD WASHERS) STAGGERED TOP & BOTTOM
- MINIMUM BEARING OF ANY BEAMING OR HEADER AT ANY STUD WALL IS 3 1/2"
- ALL HEADERS THAT ARE NOT SPECIFIED ON THE PLANS SHALL BE:
  - HEADERS SUPPORTING FLOOR FRAMING 2 PLY - 2x12 #2 SYP
  - HEADERS SUPPORTING CEILING FRAMING 2 PLY - 2x8 #2 SYP

### FASTENING SCHEDULE

CONNECTION	TYPE	NAILING
JOIST TO SILL OR GIRDER	3 - 8d	TOE NAIL
BRIDGING TO JOIST	2 - 8d	TOE NAIL EACH END
SOLE PLATE TO JOIST OR BLOCKING	16d @ 16" o.c.	FACE NAIL
TOP PLATE TO STUD	2 - 16d	END NAIL
STUD TO SOLE PLATE	4 - 8d OR 2 - 16d	TOE NAIL
DOUBLE STUDS	16d @ 16" o.c.	FACE NAIL
DOUBLED TOP PLATES	16d @ 16" o.c.	FACE NAIL
DOUBLE TOP PLATES, LAP SPLICE	8 - 16d	FACE NAIL
JOISTS/RAFTERS BLOCK TO TOP PLATE	3 - 8d	TOE NAIL
RIM JOIST TO TOP PLATE	8d @ 6" o.c.	TOE NAIL
TOP PLATES, LAP AND INTERSECTION	2 - 16d	FACE NAIL
CONTINUOUS HEADER, TWO PIECES	16d @ 16" o.c.	ALONG EACH EDGE
CEILING JOISTS TO PLATE	3 - 8d	TOE NAIL
CONTINUOUS HEADER TO STUD	4 - 16d	TOE NAIL
CEILING JOISTS, LAPS OVER PARTITIONS	3 - 16d	FACE NAIL
CEILING JOISTS TO PARALLEL RAFTERS	3 - 16d	FACE NAIL
RAFTER TO PLATE	3 - 16d	TOE NAIL
1" BRACE TO EACH STUD AND PLATE	2 - 8d	FACE NAIL
BUILT-UP CORNER STUDS	16d @ 24" o.c.	ALONG FACE
BUILT-UP GIRDER AND BEAMS	16d @ 16" o.c.	TOP&BOT STAGGER ENDS AND SPLICES
2" PLANKS	2 - 16d	EACH BEARING
ROOF TRUSS TO PLATE	2 - 16d	TOE NAIL
FLOOR TRUSS TO PLATE	2 - 16d	TOE NAIL
SHEAR PANELS TO BEARING PLATES	12 - 10d	FACE NAIL TOP&BOT
ROOF RAFTERS TO RIDGE, VALLEY	4-16d	TOE NAIL
OR HIP RAFTER	3-16d	FACE NAIL
COLLAR TIES TO FACE OF RAFTER	3-10d	FACE NAIL

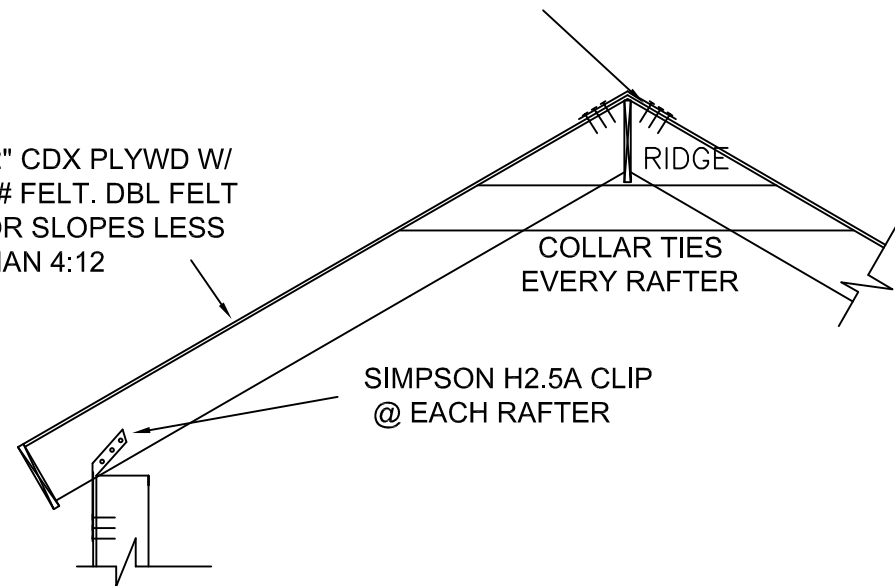
\* ALL NAILS ARE COMMON NAILS

RIDGE TIE REQUIRES SIMPSON LSTA21 STRAP @ 16" O.C. ATTACHED WITH 16-10d NAILS. THE NUMBER OF NAILS ON EACH SIDE OF THE RAFTER/RIDGE JOINT SHALL BE EQUAL. NAILS SHALL BE SPACED TO AVOID SPLITTING OF THE WOOD.



Typical LSTA Installation (hanger not shown)

1/2" CDX PLYWD W/ 30# FELT. DBL FELT FOR SLOPES LESS THAN 4:12



RIDGE  
COLLAR TIES EVERY RAFTER

SIMPSON H2.5A CLIP @ EACH RAFTER

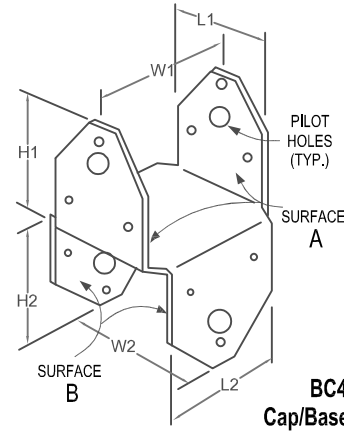
### SECTION

### WOOD STRUCTURAL PANEL ROOF SHEATHING NAILING SCHEDULE

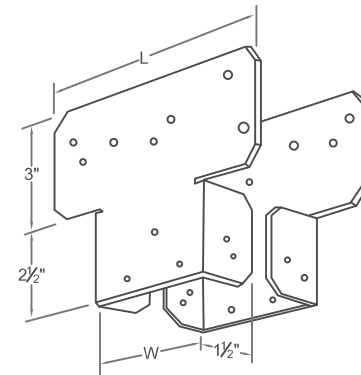
THICKNESS	NAILS	PANEL LOCATION	FASTENING SCHEDULE (inches on center)
1/2" OR LESS	8d COMMON	PANEL EDGE (a)	4
		PANEL FIELD	8
19/32" OR GREATER	10d COMMON	PANEL EDGE (a)	4
		PANEL FIELD	8

- (a) EDGE SPACING ALSO APPLIES OVER ROOF FRAMING AT GABLE END WALLS.
- (b) USE RING-SHANK NAILS WITHIN 48" DISTANCE FROM GABLE END WALLS IF MEAN ROOF HEIGHT IS GREATER THAN 25'.
- (c) ALL NAILS TO BE CORROSION RESISTANT.

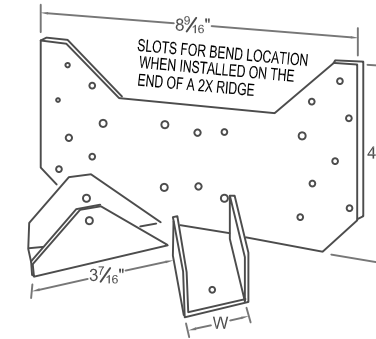
### RECOMMENDED SIMPSON INSTALLATIONS



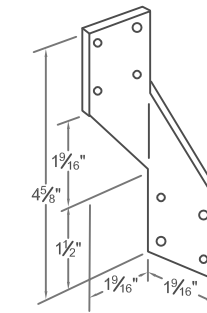
BC4 Cap/Base



AC

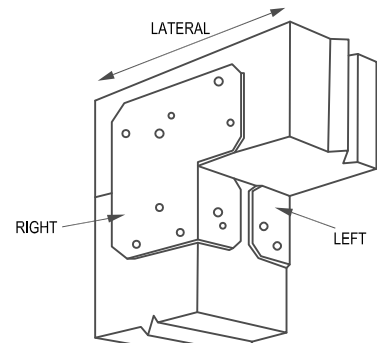
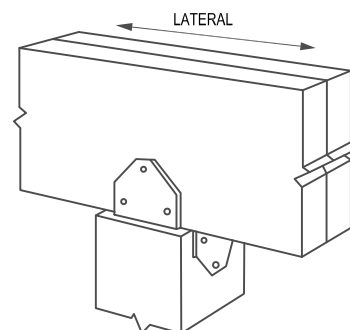


HRC22

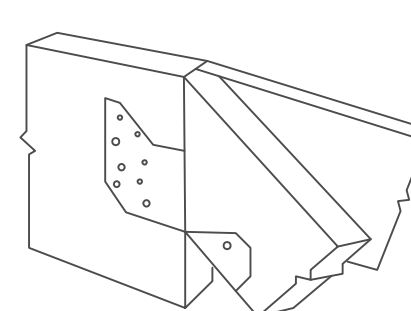


H2.5A

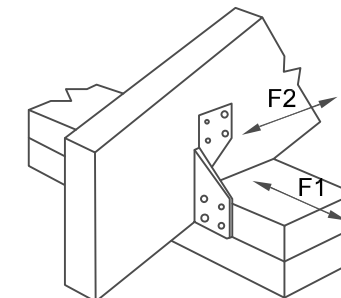
### TYPICAL SIMPSON INSTALLATIONS



Typical ACE Installation



Typical HRC22 Installation on the end of a ridge



H2.5A Installation (Nails into upper top plate)

### DESIGN LOADS:

2018 INTERNATIONAL RESIDENTIAL CODE	
2017 NATIONAL ELECTRICAL CODE	
ULTIMATE WIND LOAD DESIGN = 140 MPH	
ROOF LIVE LOAD = 20.0 PSF	
ROOF DEAD LOAD = 10.0 PSF	
FLOOR LIVE LOAD = 40.0 PSF	
FLOOR DEAD LOAD = 10.0 PSF	

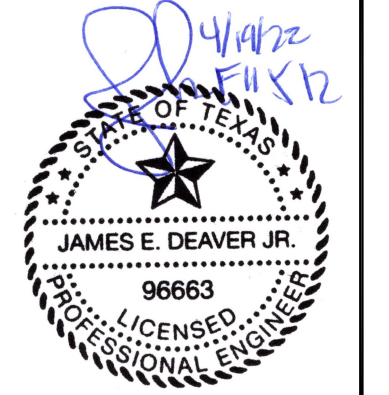
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### Engineer:



Project Name and Address  
Noyes Residence  
8316 Winningham Ln  
Houston, TX 77055

Project: 22-01011	Sheet
Date:	S3
Scale:	

# GENERAL NOTES: WOOD FRAMING

## CONNECTORS AND WOOD FASTENERS

- ALL CONNECTIONS AND WOOD FASTENERS SHALL CONFORM TO THE "NATIONAL SPECIFICATION (NDS) FOR WOOD CONSTRUCTION, LATEST EDITION.
- HOLDDOWNS, STRAPS AND HURICANE CLIPS SHALL BE INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS.
- CONNECTORS SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC. OR APPROVED EQUAL. NAIL ALL NAIL HOLES.
- PROVIDE BASE AND CAP CONNECTORS AT ALL COLUMNS 4"x4" OR LARGER, AS FOLLOWS:  
 COLUMN BASE CONNECTOR: AC SERIES  
 COLUMN CAP CONNECTOR: AC SERIES (OR ACE AT BEAM ENDS)  
 USE APPLICABLE COLUMN/BEAM MODEL NUMBERS.
- WHERE REQUIRED, JOIST HANGERS SHALL BE 16ga. GALVANIZED "U" STANDARD JOIST HANGERS, APPLICABLE TO CORRESPONDING SIZE, INCLUDING DOUBLE AND TRIPLE JOIST.
- WHERE REQUIRED, BEAM/PURLIN HANGERS SHALL BE 12ga. GALVANIZED, "B-SERIES" APPLICABLE TO CORRESPONDING SIZE.
- AT ALL EXTERIOR STUD WALL SILL PLATES AND WALLS ON CONCRETE CURBS, PROVIDE 1/2" DIAMETER ANCHOR BOLTS AT 4'-0" O.C. SPACING AND AT 12" MAXIMUM FROM EACH END UNLESS SPECIFIED OTHERWISE. PROVIDE 2 BOLTS PER SECTION OF WALL, MINIMUM. ANCHOR BOLTS SHALL BE 12" LONG, ASTM A-307.
- WHERE CALLED OUT, ALL THROUGH BOLTS SHALL BE ASTM A-307. PROVIDED STANDARD WASHERS AT ALL WOOD SURFACES.
- ALL BOLTS, NUTS, WASHER, NAILS, AND OTHER FASTENERS EXPOSED TO THE WEATHER SHALL BE HOT DIPPED GALVANIZED.

## STUD WALLS

- STUDS SHALL BE AS FOLLOWS:  
 2"x4" @ 16" AT ALL FLOORS IN ONE AND TWO STORY STRUCTURES.
- PROVIDE A MINIMUM OF TWO (2) STUDS AT EACH SIDE OF OPENINGS LARGER THEN 4'-0", FULL HEIGHT OF WALL (KING STUDS).
- MAXIMUM STUD WALL HEIGHTS SHALL BE AS FOLLOWS:  
 2x4 STUDS @ 16" O.C. 10'-0"  
 2x6 STUDS @ 16" O.C. 13'-0"  
 2x8 STUDS @ 16" O.C. 16'-0"
- BLOCKING AND LATERAL BRACING:  
 A. PROVIDE BLOCKING AND/OR TEMPORARY CROSS BRACING AS REQUIRED TO ENSURE STUD STRAIGHTNESS ACCORDING TO SPECIFIED TOLERANCES.  
 B. MAXIMUM TOLERANCE FOR STUD STRAIGHTNESS IN EITHER DIRECTION A 1/4 INCH PER TEN (10) FEET OF STUD LENGTH.  
 C. MINIMUM BLOCKING:  
 1 ROW FOR STUD HEIGHT UP TO 9'-0"  
 2 ROWS FOR STUD HEIGHT UP TO 15'-0"  
 3 ROWS FOR STUD HEIGHT over 15'-0"
- PROVIDE SOLID STUD PACKS AT ALL REACTION POINTS FOR BEAMS AND GIRDERS. PROVIDE 2X CRIPPLES (BETWEEN LOWER WALL TOP PLATE AND UPPER WALL BOTTOM PLATE) TO MATCH THE STUD PACKS WHEN REACTION POINTS DO NOT ALIGN WITH END VERTICALS OF FLOOR TRUSSES. THE STUD PACKS AND CRIPPLES SHALL PROVIDE A CONTINUOUS LOAD PATH TO THE FOUNDATION
- EXTERIOR WALLS AT VAULTED CEILINGS SHALL BE BALLOON FRAMED. (CONTINUOUS FROM FLOOR TO ROOF WITH NO SPLICES IN BETWEEN)
- ALL INTERIOR FRAMED WALLS 9' AND HIGHER SHALL HAVE MINIMUM 2x BLOCKING AT MID HEIGHT BETWEEN TOP AND BOTTOM PLATES.
- ALL STUD WALLS SHALL BE Laterally BRaced BY PLYWOOD OR GYPSUM SHEATHING.

## PARALLEL STRAND & GLULAM LUMER:

- ALL GLUE LAMINATED MEMBERS SHALL BE FABRICATED FROM DOUGLAS FIR OR SOUTHERN YELLOW PINE. GLULAM MEMBERS SHALL HAVE THE FOLLOWING MINIMUM DESIGN STRESS VALUES  
 Fb = 2400 PSI.  
 Fv = 270 PSI.  
 E = 1,800,000 PSI.  
 SIMPLY SUPPORTED GLULAM BEAMS MAY BE CAMBERED TO REMOVE DEAD LOAD DEFLECTION. CANTILEVERED AND CONTINUOUS BEAMS SHALL NOT BE CAMBERED.
- PSL MEMBERS SHALL HAVE THE FOLLOWING MINIMUM DESIGN STRESS VALUES:  
 Fb = 2900 PSI.  
 Fv = 285 PSI.  
 E = 2,000,000 PSI.
- LVL BEAMS THAT HAVE EQUAL OR GREATER SIZE THAN PSL BEAMS SPECIFIED, AND MEET PSL REQUIREMENTS MAY BE SUBSTITUTED FOR PSL BEAMS.
- ALL PARALLEL STRAND & GLULAM MEMBERS SHALL BE PROTECTED FROM THE WEATHER WHILE IN STORAGE. CARE SHALL BE EXERCISED DURING HANDLING TO PREVENT DAMAGE TO THE SAME.
- ALL PARALLEL STRAND & GLULAM MEMBERS SHALL BE INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS.

## DECKING AND SHEATHING

- ROOF DECKING SHALL BE 1/2" MINIMUM THICKNESS, CDX PLYWOOD. ORIENTED STRAND BOARD (OSB) MAY BE USED IN LIEU OF PLYWOOD. APPLY 4' x 8' SHEETS WITH W/ 4'-0" OFFSET JOINTS. MINIMUM NAILING SHALL BE AS NOTED IN THE NAILING SCHEDULE. PLYWOOD CLIPS SHALL BE INSTALLED AT ROOF DECKING TO RESULT IN A 1/8" GAP BETWEEN ALL PANEL EDGES. PROVIDE 1 CLIP PER SPAN (RAFTER SPACING). CLIPS SHALL BE SIMPSON PSCL OR APPROVED EQUAL, TO MATCH CORRESPONDING PLYWOOD THICKNESS.
- FLOOR DECKING TO BE 3/4" APA RATED T&G LONG SIDES SHEATHING, 48/24 SPAN RATING, EXPOSURE 1, SUB-DECK W/ 4'-0" OFFSET JOINTS AND 1/2" PLYWOOD FINISH DECK SET PERPENDICULAR W/ 4'-0" OFFSET JOINTS. (ALTERNATE: 1 1/8" "STURDI-FLOOR", OR EQUAL) ALL FLOOR DECKING TO BE GLUED ADEQUATELY TO JOIST. MINIMUM NAILING SHALL BE AS NOTED IN NAILING SCHEDULE AND AS PER MANUFACTURERS SPECS.
- WOOD STRUCTURAL PANELS FOR EXTERIOR WALLS SHALL BE 15/32" OR 7/16" THICK APA RATED SHEATHING, 32/16 SPAN RATING, C-D EXT. MINIMUM NAILING SHALL BE AS NOTED IN THE SHEAR WALL & NAILING SCHEDULE.
- PROVIDE 1/8" GAP AT ALL PLYWOOD PANEL EDGES AND END JOINTS UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. DUE TO CONSTRUCTION CONDITIONS, TEMPORARY EXPANSION JOINTS MAY BE REQUIRED IN FLOOR/ROOF SHEATHING.
- GYPSUM SHEATHING FOR SHEARWALLS SHALL BE 5/8" THICK AND FREE FROM IMPERFECTIONS AND CONFORM TO ASTM C79 SPECIFICATIONS. MINIMUM NAILING SHALL BE AS NOTED IN THE SHEAR WALL & NAILING SCHEDULE. ALL PANEL EDGES SHALL BE BLOCKED WITH 2x NOMINAL MEMBERS.

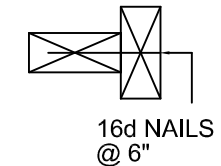
## DETAIL KEYED NOTES

- 1 RIDGE BEAM, HIP, RAFTER, OR VALLEY RAFTER**  
 DEPTH SHALL BE THE LARGER OF THE FOLLOWING:  
 A. ONE SIZE DEEPER THAN THE LARGEST RAFTER FRAMING INTO IT (2 x LUMBER)  
 B. DEPTH OF CUT END OF RAFTER.
- 2 COLLAR TIES**  
 2x6 LOCATED @ UPPER ONE THIRD (1/3) OF ROOF @ EVERY RAFTER.  
 ATTACH WITH 6-10d NAILS.
- 3 T-BRACE**  
 A. RE: TYPICAL DETAILS BELOW  
 B. MAXIMUM SPACING AS FOLLOWS:  
 4'-0" @ 2x4 CONT. PURLIN  
 6'-0" @ RIDGE BEAM, HIP OR VALLEY RAFTER  
 C. BRACE SHALL BEAR ON AN INTERIOR WALL, BEAM OR STRONG-BACK (DOUBLE, 2 SIZES LARGER THAN JOIST) RE: FRAMING PLAN.
- 4 RAFTER & RIDGE SPLICES**  
 A. LOCATE SPLICE OVER A KNEE WALL, OR PROVIDE ADDITIONAL BRACE @ SPLICE  
 B. MINIMUM LAP = 12" NAIL W/ 4-16d NAILS.

## TYPICAL "T" BRACE DETAIL

### SIZE OF EA. MEMBER

LENGTH UP TO 8'-0" = 2x4  
 LENGTH UP TO 12'-0" = 2x6  
 LENGTH > 12'-0" = 2x6 w/ 2x4  
 CONT. @ 6'-0" MAXIMUM SPACING  
 BRACED DIAGONALLY TO CEILING



## VALLEY FRAMING NOTES

FOR VALLEY FRAMING AT ROOFS OR OTHER CONVENTIONAL ROOF FRAMING, CONTRACTOR SHALL PROVIDE 2x FRAMING IN ACCORDANCE WITH ROOF RAFTER TABLES IN ACCORDANCE WITH THE IRC 2018 CODE.

ALL VALLEY FRAMING TO BE MINIMUM #2 S.Y.P. W/MILL APPLIED GRADING MARKS.

\*\* SUPPORTING FRAMING MEMBERS MUST BE SHEATHED OR PROVIDE 2 X 4 PURLINS AT 24" O.C. ON THE TOP EDGE OF THE SUPPORTING FRAMING MEMBERS UNDER THE OVERLAY FRAMING. CONNECT PURLINS TO EACH FRAMING MEMBER WITH 2 - 16 d NAILS.

VALLEY RAFTER SPACING NOT TO EXCEED 16" O.C. PROVIDE 2x4 POSTS SPACED A MAXIMUM OF 32" AT ALL VALLEY RAFTERS. ATTACH VALLEY RAFTER TO RIDGE BEAM WITH 3-10d TOE NAILS  
 ATTACH VALLEY RAFTER TO POST WITH 4-10d NAILS  
 FOR POSTS EXCEEDING 75" IN LENGTH, TWO 2 X 4 MEMBERS NAILED TOGETHER WITH ONE ROW OF 10d NAILS @ 9" O.C. SPACING ARE REQUIRED.

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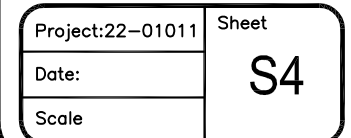
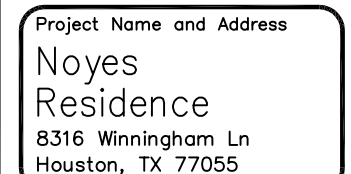
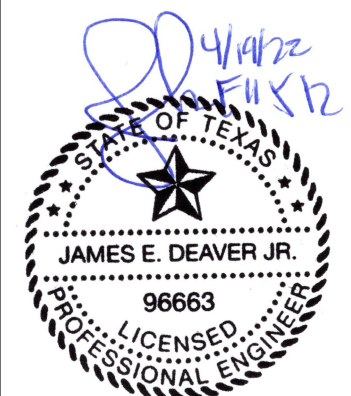
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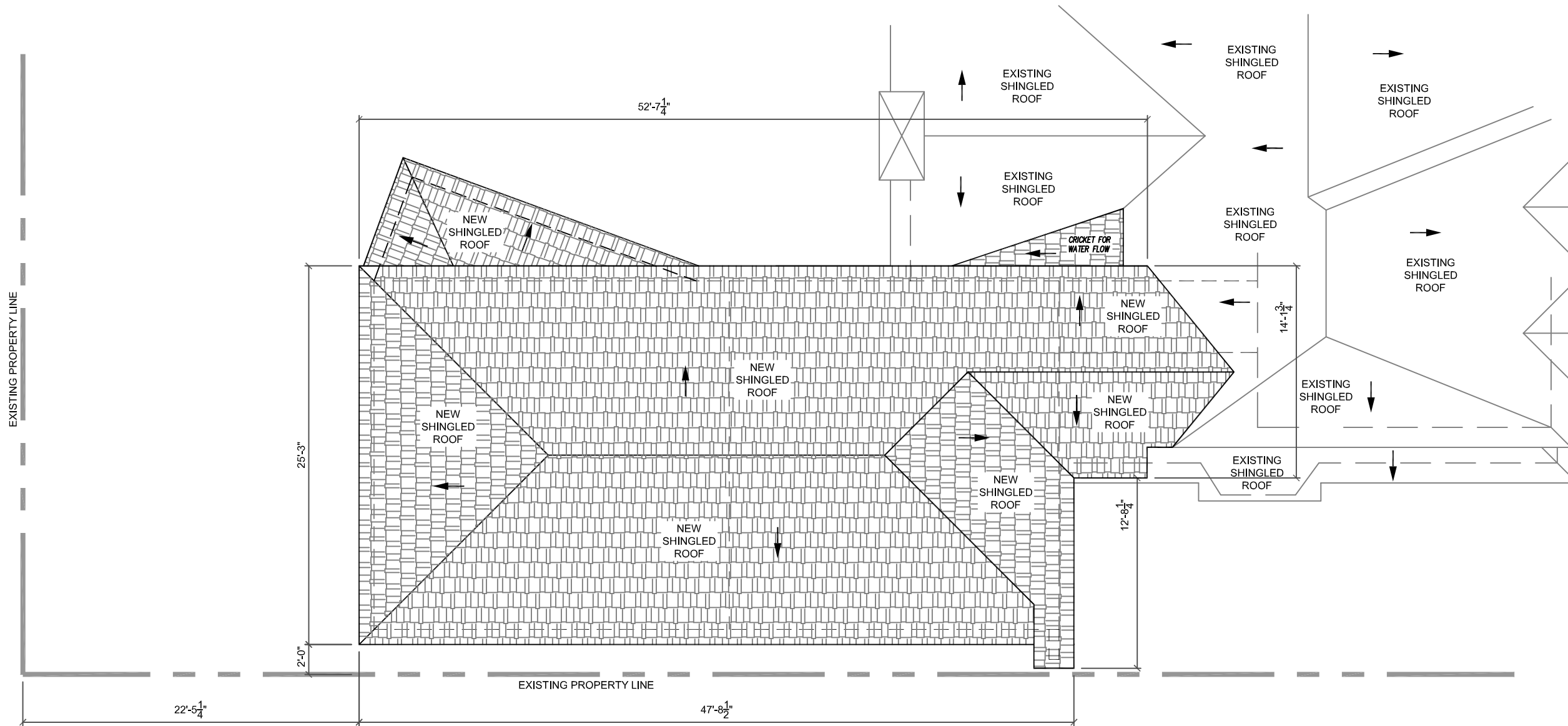
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Engineer:





PROPOSED  
ROOF LAYOUT  
SCALE: 1/8" = 1'-0"

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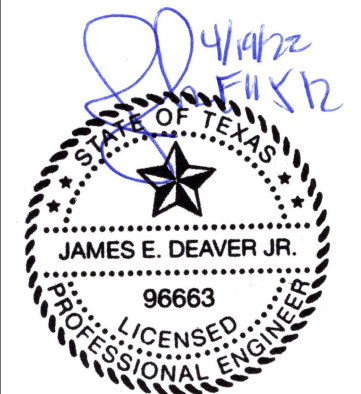
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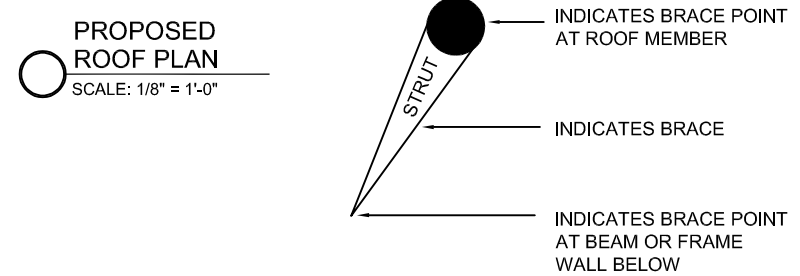
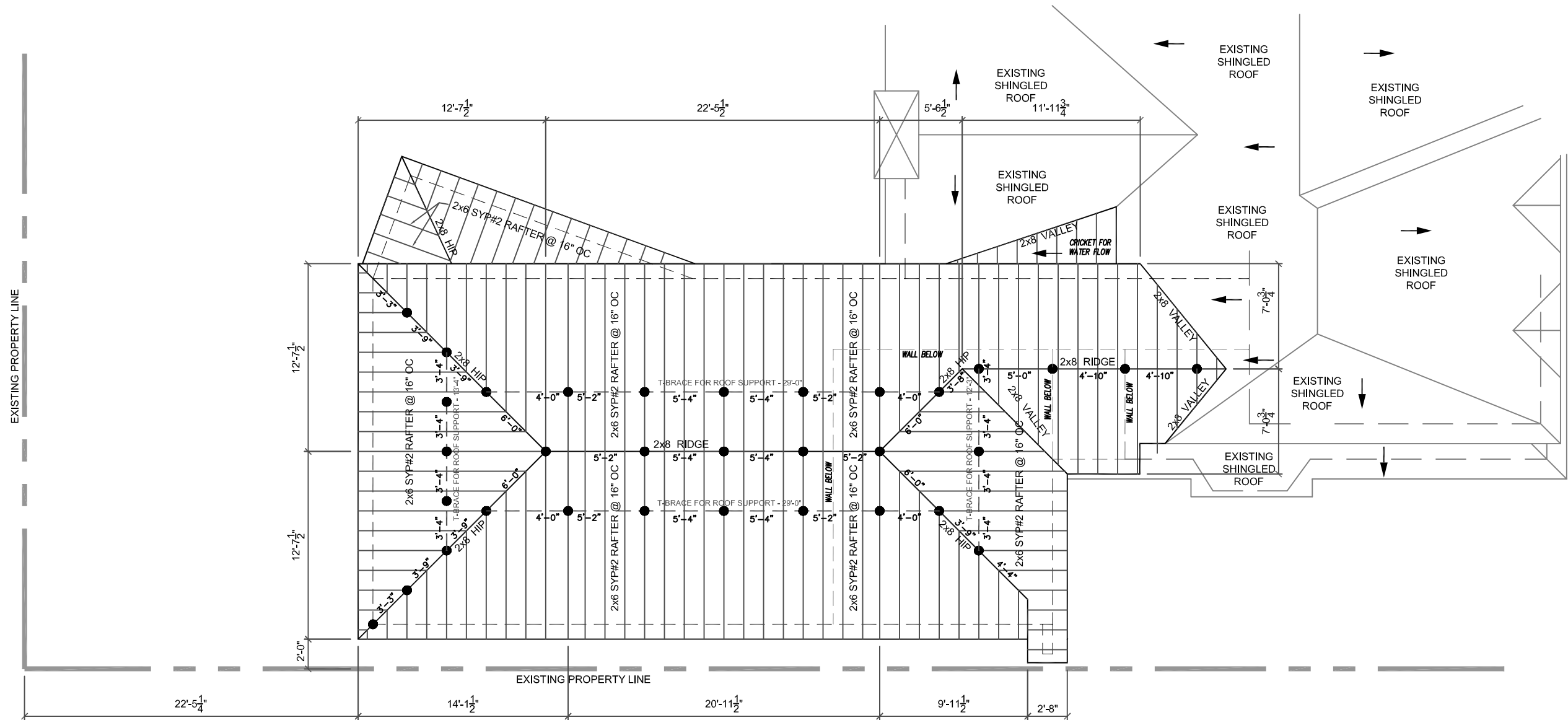
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**Engineer:**



Project Name and Address  
Noyes  
Residence  
8316 Winningham Ln  
Houston, TX 77055

Project:22-01011	Sheet
Date:	S5
Scale	



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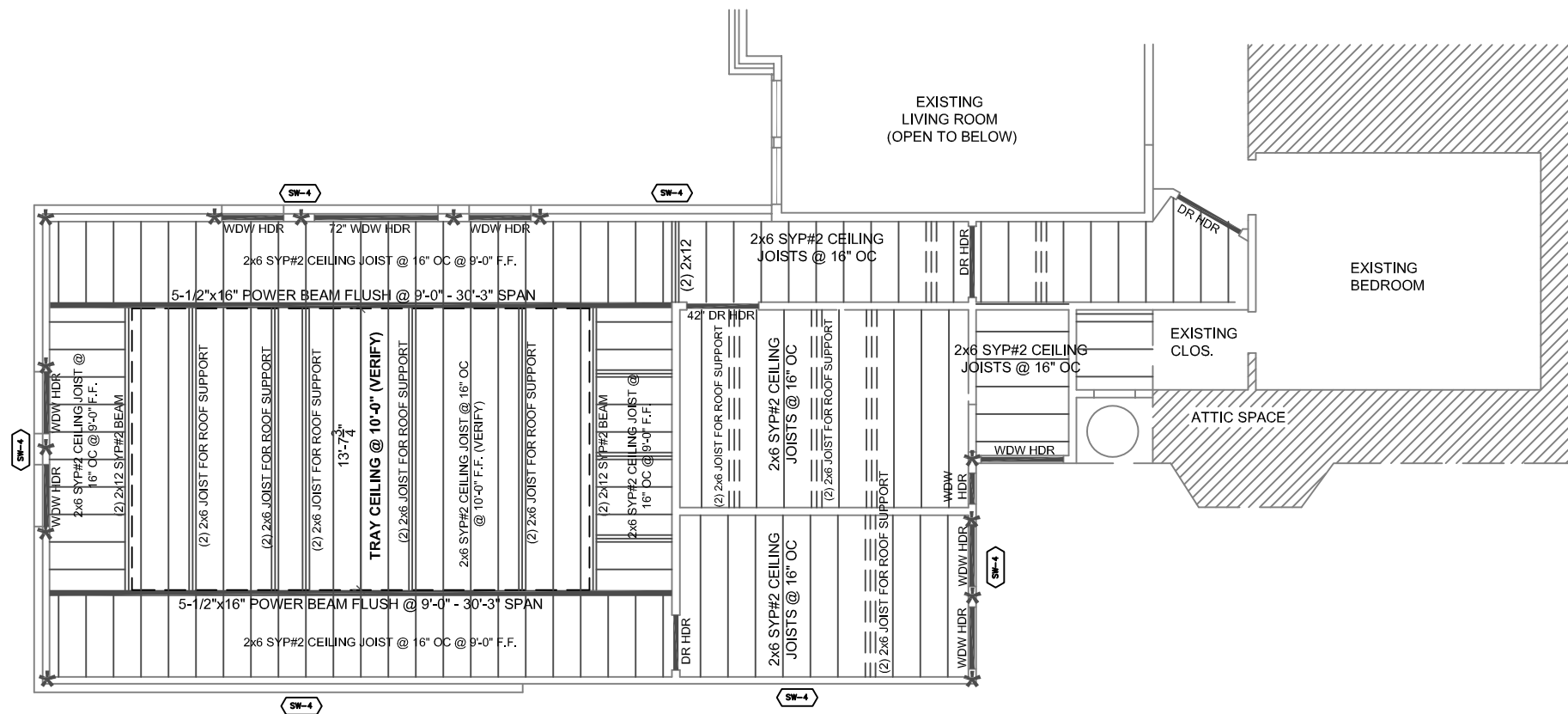
JAMES E. DEAVER JR.  
 96663  
 LICENSED PROFESSIONAL ENGINEER

Design Firm Name MEMBER  
**LeiCo AI**  
**DESIGN BD**  
 Creating where people live. AMERICAN INSTITUTE OF BUILDING DESIGN

Contractor Name  
**ALL-TEX**  
 HOME IMPROVEMENT SERVICES, LLC

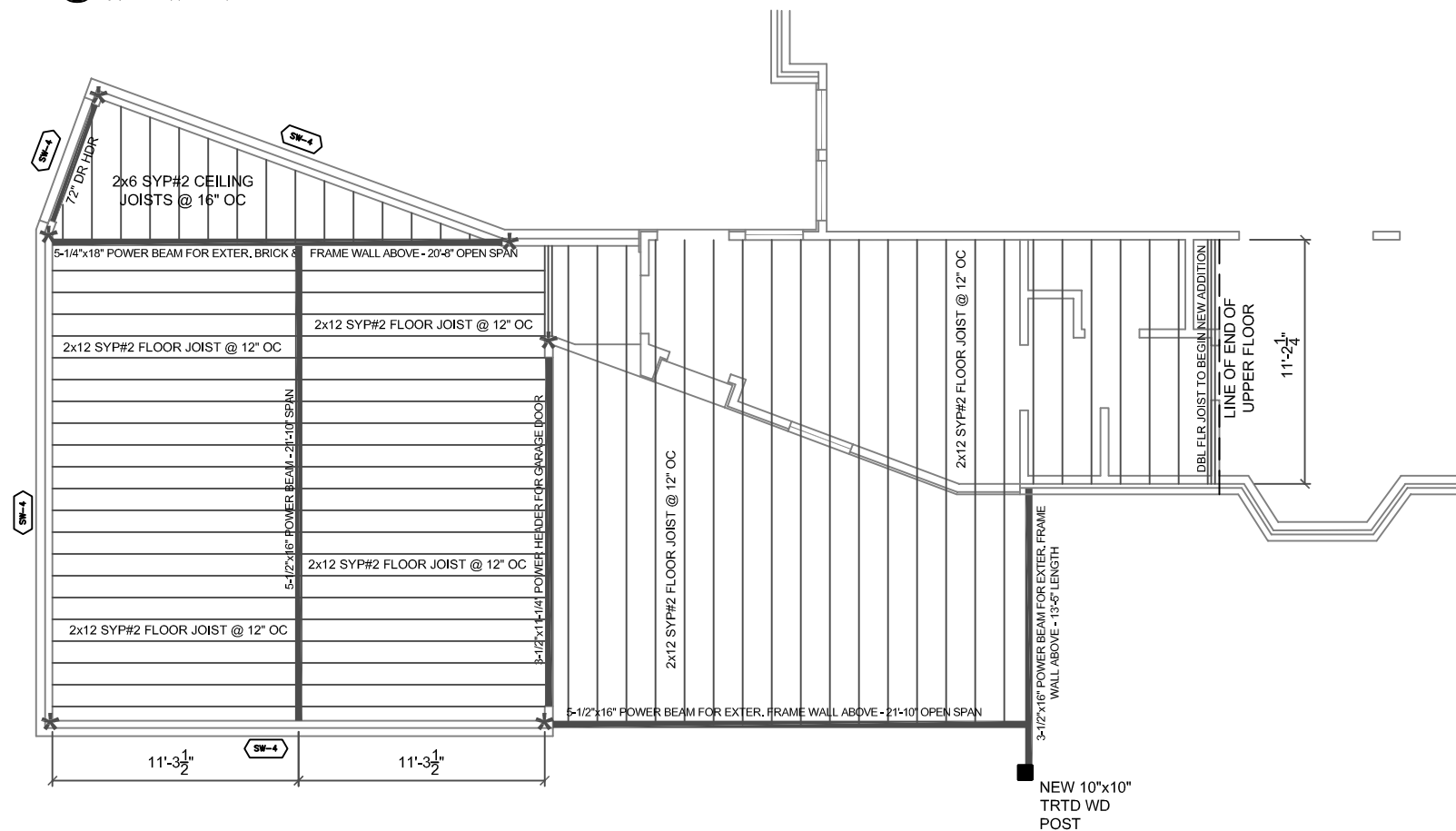
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 Houston, TX 77055

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Date:	<b>S6</b>
Scale	



**SECOND FLOOR FRAMING PLAN**

SCALE: 1/8" = 1'-0"



**GARAGE / FIRST FLOOR FRAMING PLAN**

SCALE: 1/8" = 1'-0"

\* = LOCATION OF SIMPSON HTT5

**NOTES:**

- ALL EXTERIOR SHEATHING TO BE NAILED WITH, 7/16" OSB OR 1/2" CDX SHEATHING ATTACH WITH 8d NAIL. (SEE NAILING SCHEDULE) WHERE CDX IS NOT REQUIRED BY PROGRAM OR JURISDICTION, OSB MAY BE SUBSTITUTED FOR CDX.
- 1/2" DRYWALL NAILED WITH 5d NAILS" 6" O.C. EDGE NAILING AND 10 O.C. FIELD NAILING U.N.O.
- PROVIDE BLOCKING AT ALL SHEATHING EDGES. PROVIDE DOUBLE STUDS OR 4x4 MEMBERS @ EACH END OF SHEAR WALL. SEE SHEARWALL SCHEDULE FOR NAILING PATTERN.
- SHEAR WALL NAILS MUST PENETRATE MINIMUM 2 3/8" INTO FRAMING MEMBER. MINIMUM NAIL LENGTH IS SHEATHING THICKNESS PLUS 2 3/8". MINIMUM SHAFT DIAMETER: 0.128 FOR 130 MHP, 3 SEC. GUST. 0.120 FOR 120 MHP, 3 SEC. GUST OR LESS.
- THE FLOOR DIAPHRAGM SHALL BE A MIN. OF 3/4" STRUCTURAL GRADE PLYWOOD & ROOF DIAPHRAGM SHALL BE A MIN. OF 5/8" CDX. BOTH DIAPHRAGMS SHALL BE PLACED WITH 10d NAILS AT A MIN. OF 6" AT ALL EXTERIOR EDGES.
- SW-4 - INDICATES SHEAR WALL TYPE AND LOCATION SEE SCHEDULE ABOVE.
- SEE SHEAR WALL DETAIL SHEET FOR ADDITIONAL NOTES AND DETAILS.
- IF NO SHEAR WALL TYPE IS LISTED, USE SW-4.
- REFER TO CORROSION REQUIREMENTS FOR NAILS.

SHEARWALL SCHEDULE		PANEL NAILING SPACING INCHES		DRYWALL NAIL SPACING INCHES	
TYPE	SHEATHING	EDGE	FIELD	EDGE	FIELD
SW-6	2x4 SYP TOP & BOTTOM PLATE, SYP STUDS @ 16" O.C. 1/2" CDX SHEATHING (BLOCKED ALL JOINTS)	6	8		
SW-6d	2x4 SYP TOP & BOTTOM PLATE, SYP STUDS @ 16" O.C. 1/2" CDX SHEATHING (BLOCKED ALL JOINTS) INT. FACE: 1/2" DRYWALL (UNBLOCKED)	6	8	6	8
SW-4	2x4 SYP TOP & BOTTOM PLATE, SYP STUDS @ 16" O.C. 1/2" CDX SHEATHING (BLOCKED ALL JOINTS)	4	8		
SW-4d	2x4 SYP TOP & BOTTOM PLATE, SYP STUDS @ 16" O.C. 1/2" CDX SHEATHING (BLOCKED ALL JOINTS) INT. FACE: 1/2" DRYWALL (UNBLOCKED)	4	8	6	8
SW-3	2x4 SYP TOP & BOTTOM PLATE, SYP STUDS @ 16" O.C. 1/2" CDX SHEATHING (BLOCKED ALL JOINTS)	3	8		
SW-3d	2x4 SYP TOP & BOTTOM PLATE, SYP STUDS @ 16" O.C. 1/2" CDX SHEATHING (BLOCKED ALL JOINTS) INT. FACE: 1/2" DRYWALL (UNBLOCKED)	3	8	6	8

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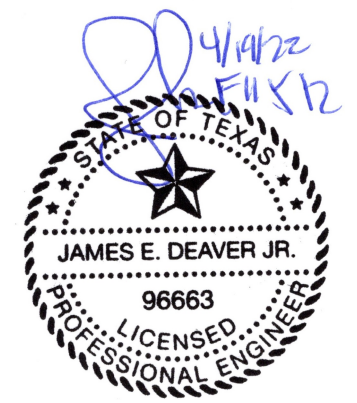
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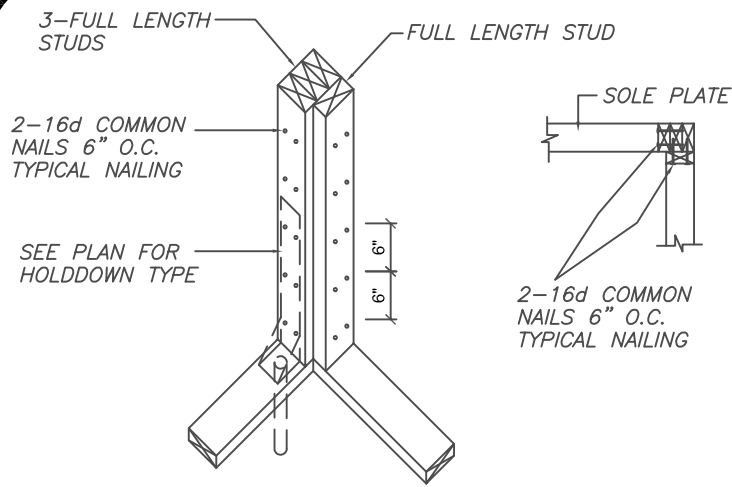
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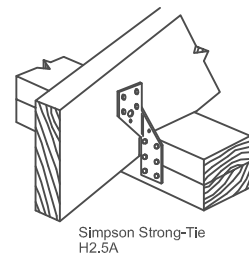


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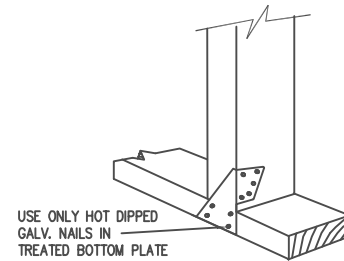
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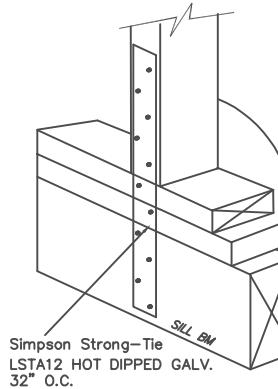
**1 CORNER STUD PACK**  
 FOR NON-CORNER STUD PACKS, USE TWO NAILS @ 12" O.C. 8d NAILS FOR DOUBLE STUDS, 16d NAILS FOR TRIPLE STUDS.



**2 H2.5A RAFTER TO TOP PLATE**  
 NOTE:  
 DBL @ GIRDER OR BEAMS THAT SUPPORT OTHER MEMBERS  
 CLIPS AND STRAPS TO BE 32" O.C.



**3 H2.5A TO BOTTOM PLATE**  
 NOTE:  
 1. INSTALL ON SAME SIDE OF BOTTOM PLATE AS MAS IF USED FOR ANCHORS  
 2. DBL H2.5 @ COLUMNS SUPPORTING BEAMS OR GIRDERS  
 CLIPS AND STRAPS TO BE 32" O.C.



**4 SIMPSON LSTA12 STRAP**

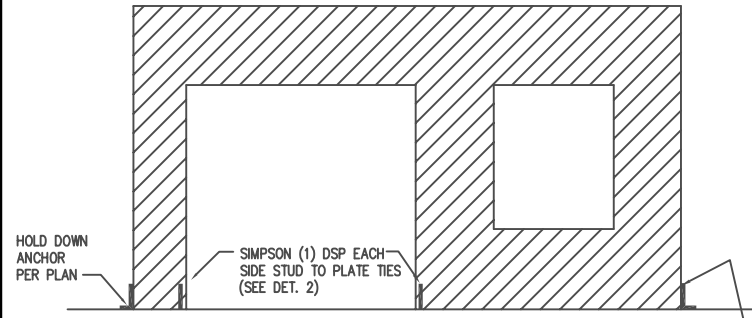
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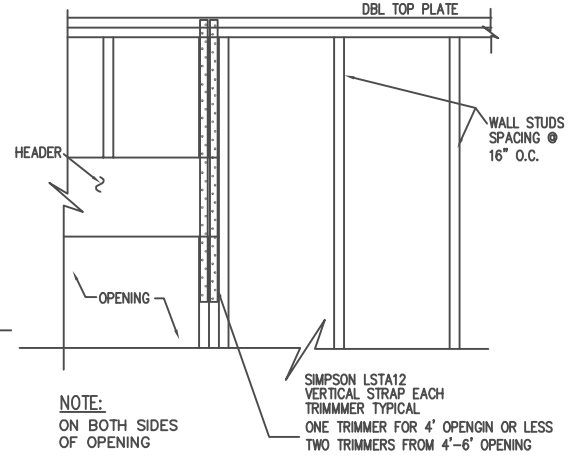
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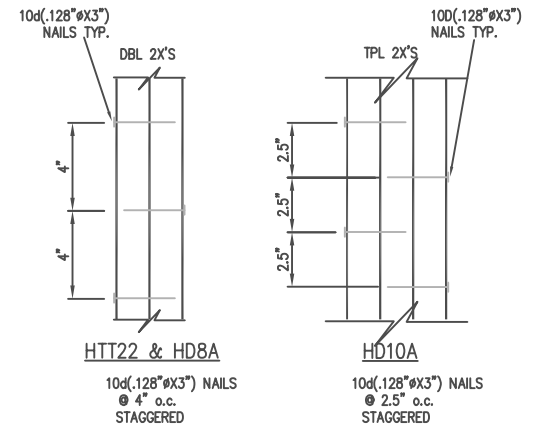
Plans do not include TDI Windstorm Inspections and Filing. If WPI-8 is desired, engineer to be notified prior to installation of concrete, cover up of framing and roof decking, and prior to project completion in order to perform inspection for Windstorm



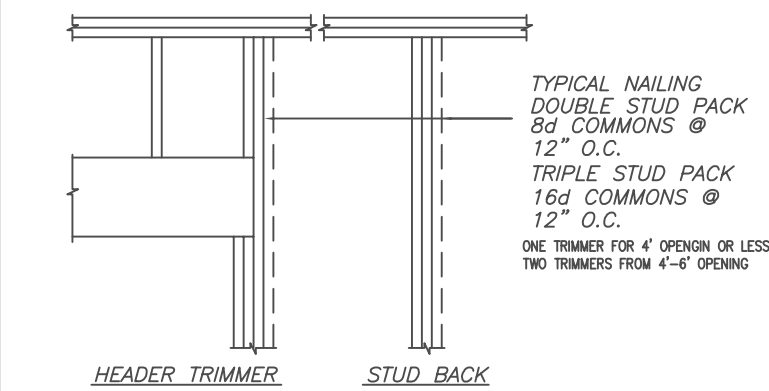
**5 SHEAR WALL OPENING ELEVATION**



**6 HEADER STRAP DETAIL**  
 NOTE:  
 ON BOTH SIDES OF OPENING  
 SIMPSON LSTA12 VERTICAL STRAP EACH TRIMMER TYPICAL  
 ONE TRIMMER FOR 4' OPENING OR LESS  
 TWO TRIMMERS FROM 4'-6' OPENING

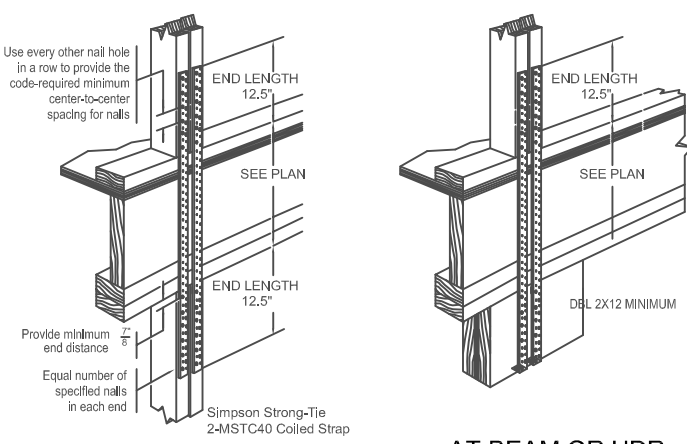


**7 2X FASTENING @ SHEAR WALL ENDS AND @ GARAGE DOORS CRIPPLES**

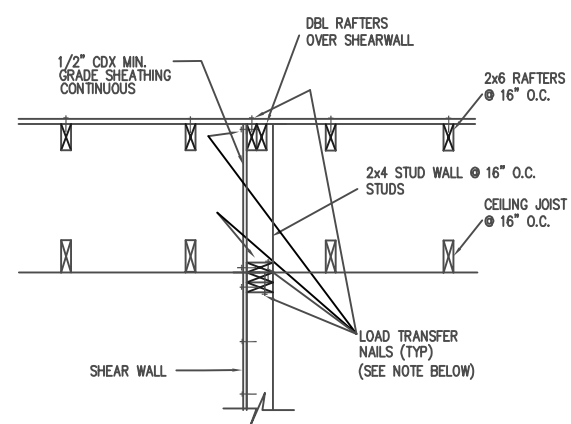


**8 STUD PACK NAILING DOORS/WINDOWS AND POINT LOADS**

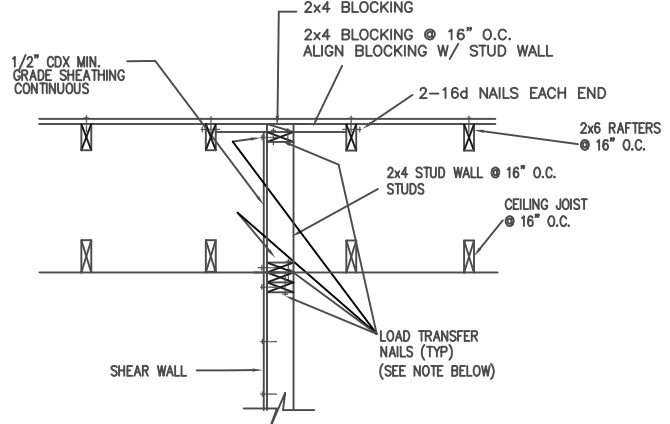
Engineer:



**9 (UNLESS NOTED OTHERWISE) END OF SHEAR WALL BETWEEN 1st & 2nd FLOORS**



**10 SHEAR TRANSFER PANEL ROOF DECK TO SHEAR WALL ALIGN RAFTER WITH SHEAR WALL**  
 NOTE: SIZE & SPACING OF THE LOAD TRANSFER NAILS TO BE THE SAME AS SHEAR WALL BELOW.



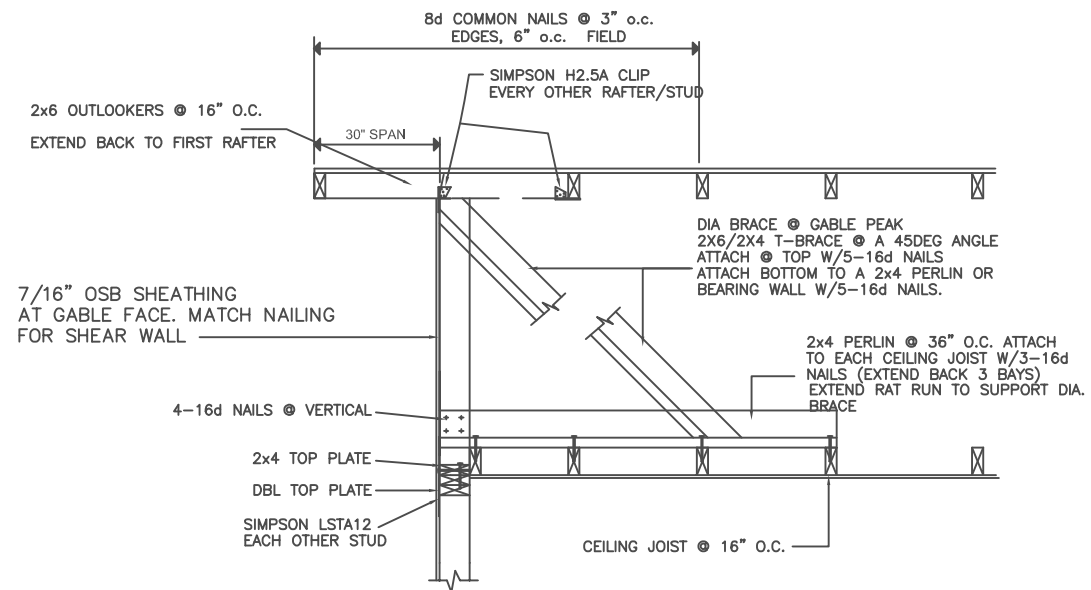
**11 SHEAR TRANSFER PANEL ROOF DECK TO SHEAR WALL ALT. BLOCKING BETWEEN RAFTERS**  
 NOTE: SIZE & SPACING OF THE LOAD TRANSFER NAILS TO BE THE SAME AS SHEAR WALL BELOW.

Design Firm Name MEMBER  
**LeiCo AI BD**  
 DESIGN  
 Creating where people live.  
 AMERICAN INSTITUTE OF BUILDING DESIGN

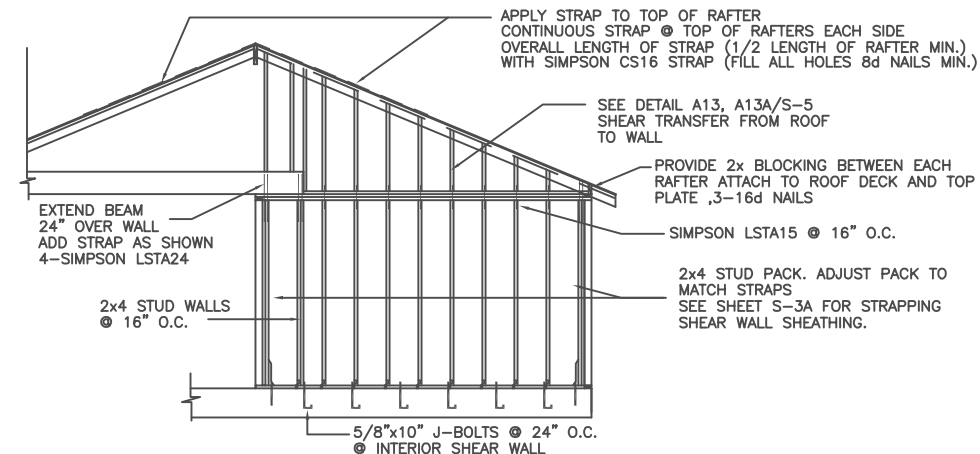
Contractor Name  
**ALL-TEX**  
 HOME IMPROVEMENT SERVICES, LLC

Project Name and Address  
 Noyes Residence  
 8316 Wunningham Ln  
 Houston, TX 77055

Project: 22-01011 Sheet  
 Date: S8  
 Scale:

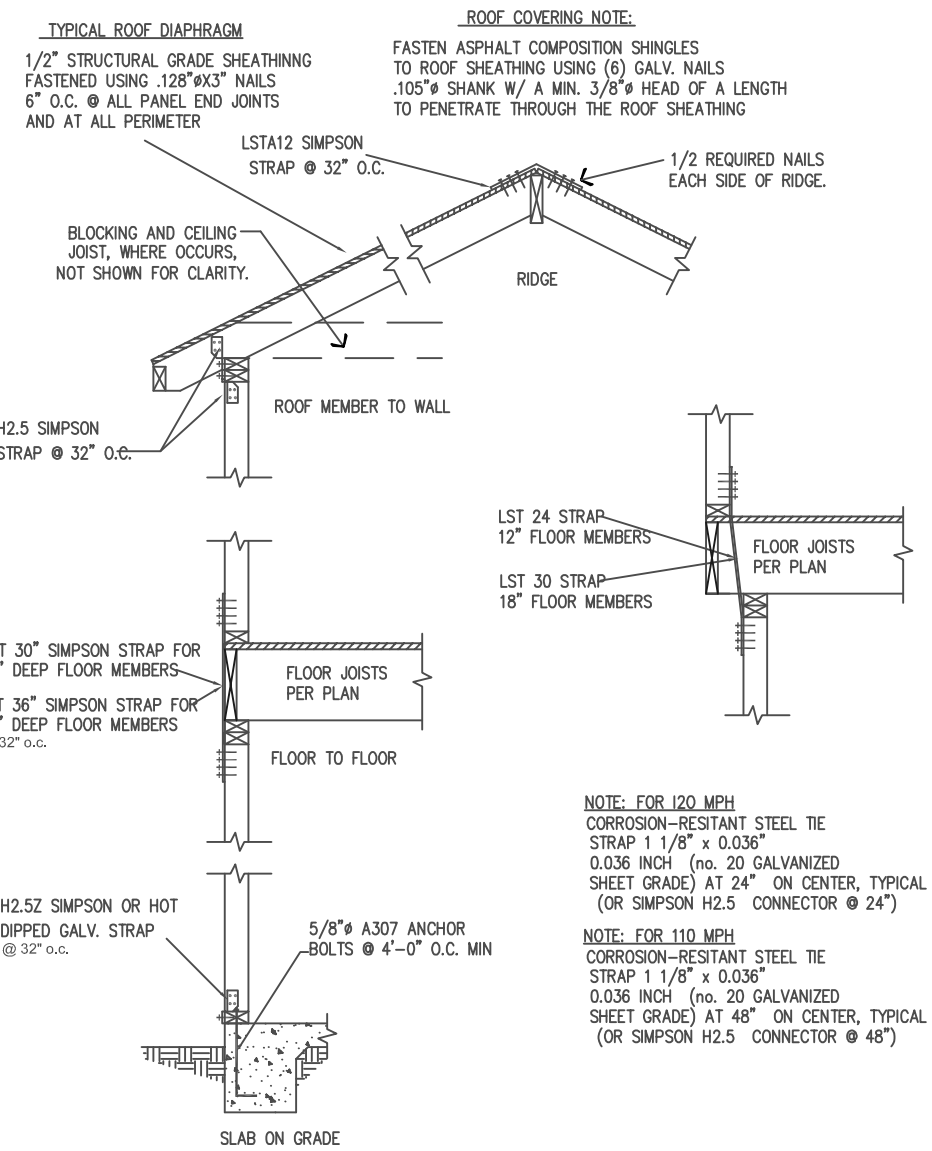


**12** TYPICAL GABLE END BRACING

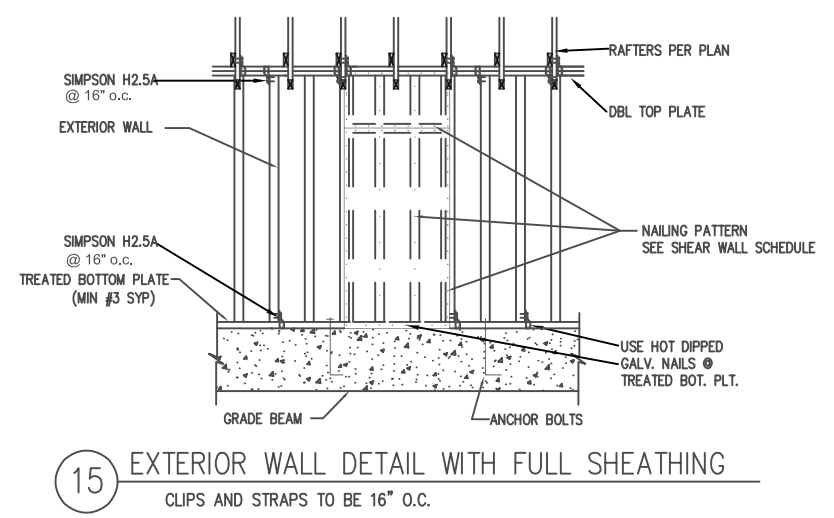


**13** INTERIOR SHEAR WALL TRANSFER TO FLOOR WITH FLOOR JOISTS PARALLEL TO SHEARWALL

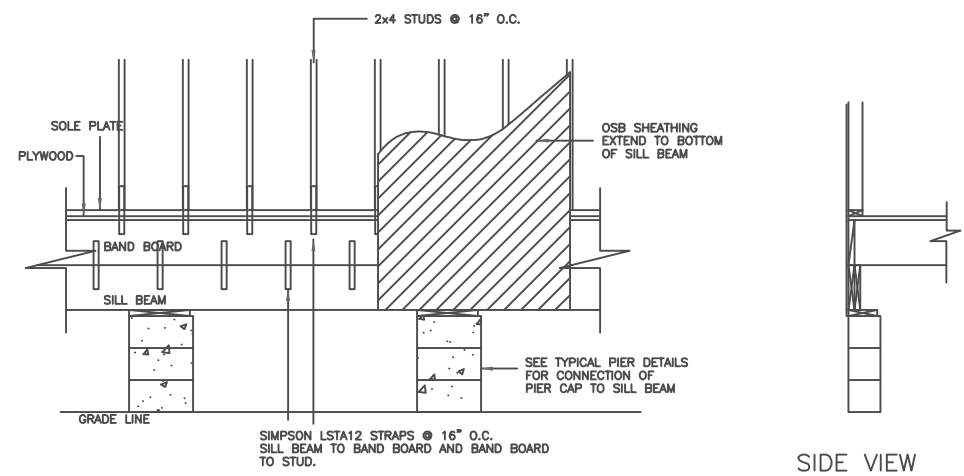
NOTE: SIZE & SPACING OF THE LOAD TRANSFER NAILS TO BE THE SAME AS SHEAR WALL BELOW.



**14** SECTION



**15** EXTERIOR WALL DETAIL WITH FULL SHEATHING CLIPS AND STRAPS TO BE 16\"/>



**15** CRAWL SPACE FRAME EXTERIOR WALL DETAIL WITH FULL SHEATHING CLIPS AND STRAPS TO BE 16\"/>

**DESIGN LOADS:**  
 2018 INTERNATIONAL RESIDENTIAL CODE  
 2017 NATIONAL ELECTRICAL CODE  
 ULTIMATE WIND LOAD DESIGN = 140 MPH  
 ROOF LIVE LOAD = 20.0 PSF  
 ROOF DEAD LOAD = 10.0 PSF  
 FLOOR LIVE LOAD = 40.0 PSF  
 FLOOR DEAD LOAD = 10.0 PSF

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Engineer:

**JAMES E. DEAVER JR.**  
 96663  
 LICENSED PROFESSIONAL ENGINEER

Design Firm Name MEMBER  
**LeiCo A I**  
**DESIGN B D**  
 Creating where people live.  
 AMERICAN INSTITUTE OF BUILDING DESIGN

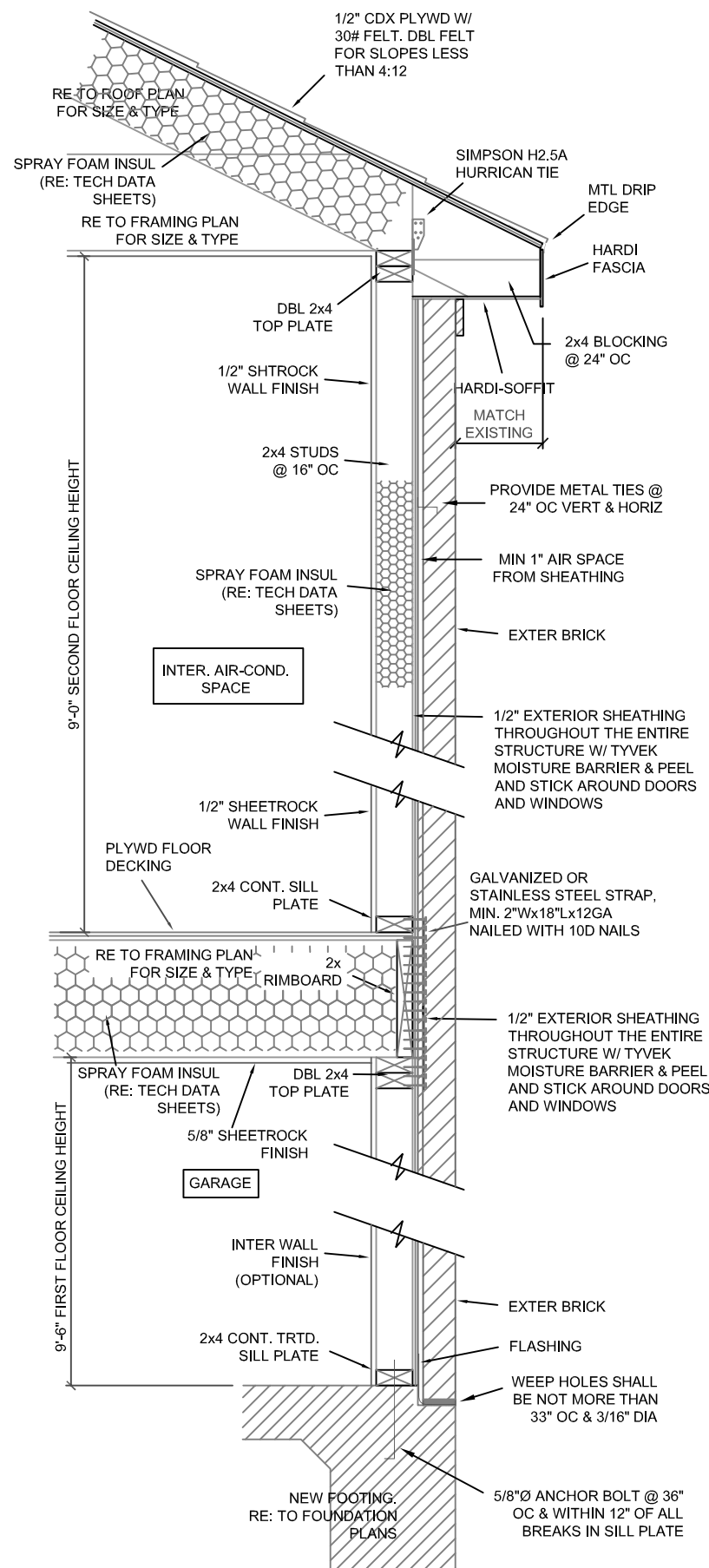
Contractor Name  
**ALL-TEX**  
 HOME IMPROVEMENT SERVICES, LLC

Project Name and Address  
 Noyes Residence  
 8316 Winningham Ln  
 Houston, TX 77055

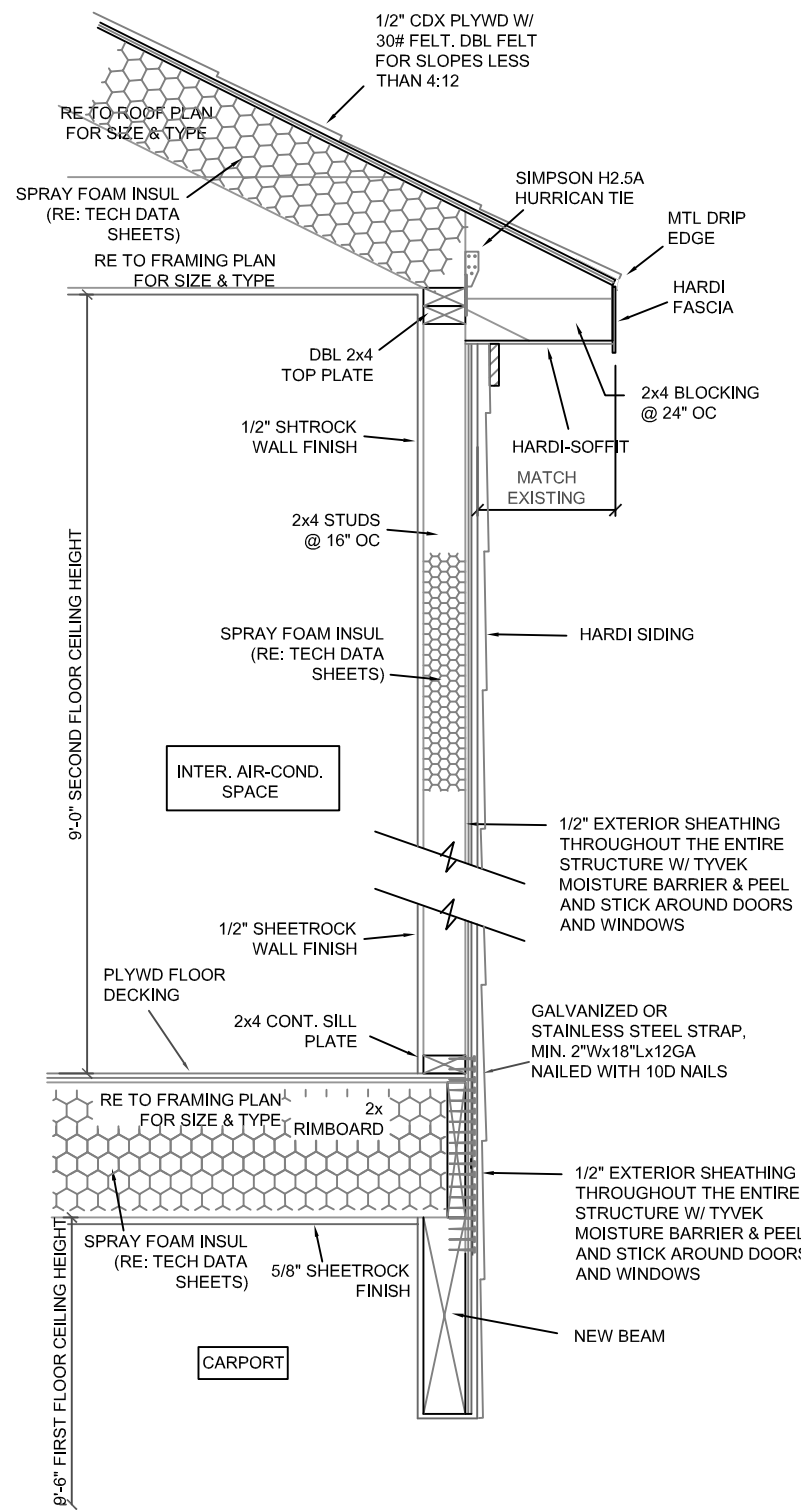
Project:22-01011 Sheet  
 Date: S9  
 Scale:

MINIMUM INSULATION & FENESTRATION REQUIREMENTS					
CLIMATE ZONE	FENESTRATION U-FACTOR	FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	FLOOR R-VALUE
2	0.40 (MAX)	0.25 (MAX)	38 (MIN)	13 (MIN)	13 (MIN)

**NOTES:**  
 1. Install wind strapping to provide continuous ties from the roof ridge to the foundation system as per appendix L.  
 2. A continuous air barrier shall be installed in the building envelope, per IECC-Table R402.4.1.1  
 3. Blower door testing and duct testing will be required per IECC sections R402.4.1.2 and R403.3.3



**TYPICAL WALL SECTION**  
SCALE: NTS



**WALL SECTION @ CARPORT BEAM**  
SCALE: NTS

**DESIGN LOADS:**  
 2018 INTERNATIONAL RESIDENTIAL CODE  
 2017 NATIONAL ELECTRICAL CODE  
 ULTIMATE WIND LOAD DESIGN = 140 MPH  
 ROOF LIVE LOAD = 20.0 PSF  
 ROOF DEAD LOAD = 10.0 PSF  
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 FLOOR DEAD LOAD = 10.0 PSF

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Engineer:

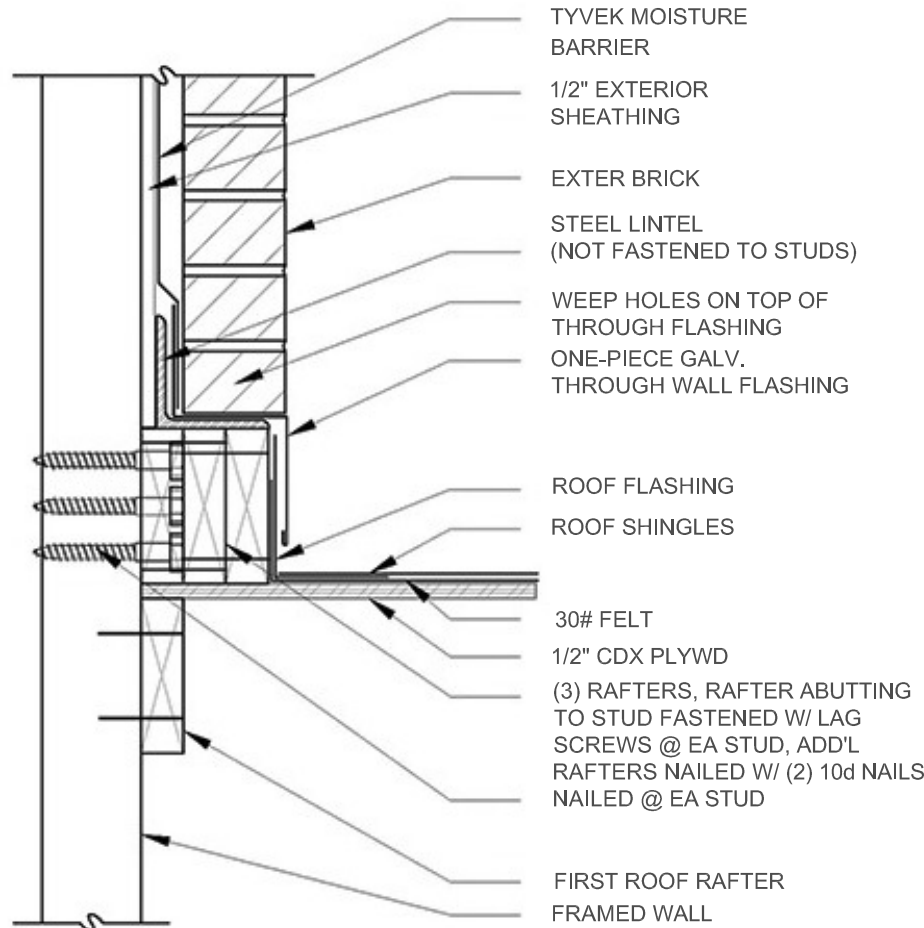
**JAMES E. DEAVER JR.**  
96663  
LICENSED PROFESSIONAL ENGINEER

Design Firm Name: **LeiCo AIBD DESIGN**  
 MEMBER  
 Creating where people live.  
 AMERICAN INSTITUTE OF BUILDING DESIGN

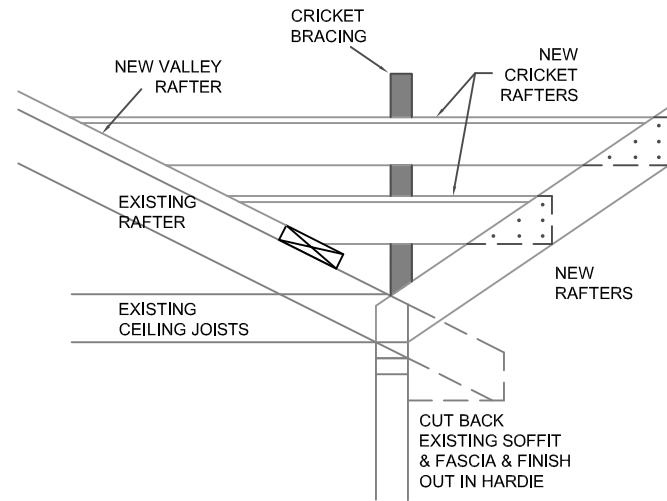
Contractor Name: **ALL-TEX HOME IMPROVEMENT SERVICES, LLC**

Project Name and Address:  
**Noyes Residence**  
 8316 Winningham Ln  
 Houston, TX 77055

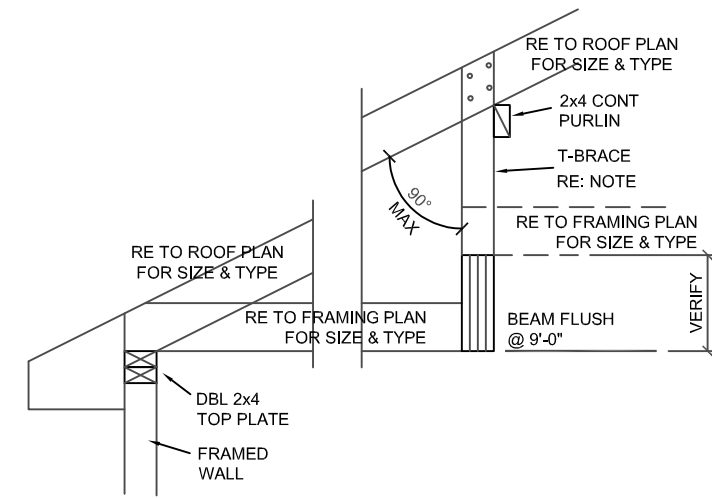
Project: 22-01011 Sheet  
 Date: **S10**  
 Scale:



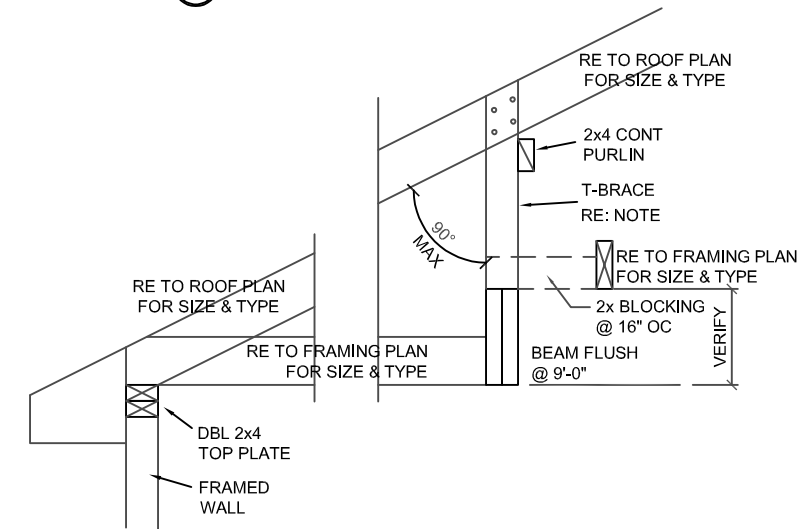
BRICK TO ROOF TRANSITION



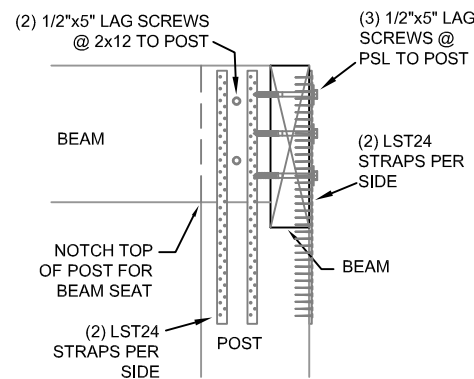
BRICK TO ROOF TRANSITION



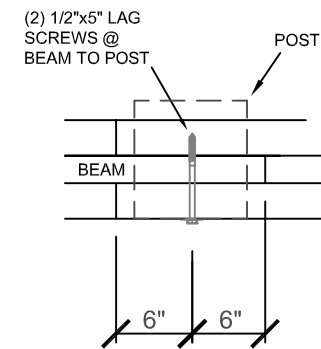
TRAY CEILING DETAIL



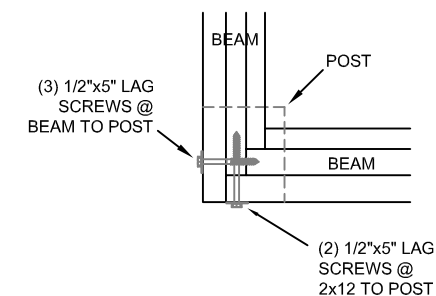
TRAY CEILING DETAIL



BEAM TO POST CONN



BEAM TO POST CONN (CENTER) PLAN (SPLICE; IF NEC)



BEAM TO POST CONN (CORNER) PLAN

DESIGN LOADS:

2018 INTERNATIONAL RESIDENTIAL CODE  
 2017 NATIONAL ELECTRICAL CODE  
 ULTIMATE WIND LOAD DESIGN = 140 MPH  
 ROOF LIVE LOAD = 20.0 PSF  
 ROOF DEAD LOAD = 10.0 PSF  
 FLOOR LIVE LOAD = 40.0 PSF  
 FLOOR DEAD LOAD = 10.0 PSF

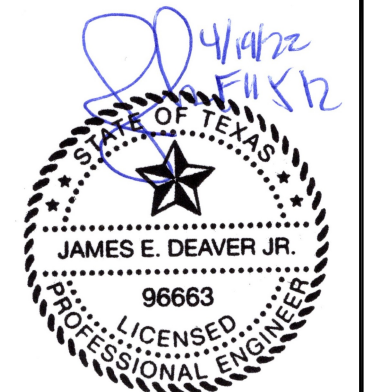
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Engineer:



Project Name and Address  
 Noyes Residence  
 8316 Winningham Ln  
 Houston, TX 77055

Project: 22-01011 Sheet  
 Date: S11  
 Scale:

APPENDIX L

CONVENTIONAL LIGHT-FRAME WOOD CONSTRUCTION FOR SINGLE FAMILY RESIDENTIAL CONSTRUCTION IN HIGH-WIND AREAS

SECTION AL101  
GENERAL

**AL101.1 Scope.** This chapter applies to regular-shaped single family residential buildings that are not more than three stories in height and are of conventional light-frame construction.

**Exception:** Detached carports and garages not exceeding 700 square feet (65 m<sup>2</sup>) and accessory to Group R-3 occupancies need only comply with the roof-member-to-wall-tie requirements of Section AL103.8.

SECTION AL102  
DEFINITION

**CORROSION RESISTANT or NONCORROSIVE.** Refers to a material having a corrosion resistance equal to or greater than a hot-dipped galvanized coating of 1.5 ounces of zinc per square foot (4 g/m<sup>2</sup>) of surface area. When an element is required to be corrosion resistant or noncorrosive, all of its parts, such as screws, nails, wire, dowels, bolts, nuts, washers, shims, anchors, ties and attachments, shall also be corrosion resistant or noncorrosive.

SECTION AL103  
COMPLETE LOAD PATH AND UPLIFT TIES

**AL103.1 General.** Blocking, bridging, straps, approved framing anchors or mechanical fasteners shall be installed to provide continuous ties from the roof to the foundation system. Tie straps shall be 1½-inch (28.6 mm) by 0.036-inch (0.91 mm) (No. 20 gage) sheet steel and shall be corrosion resistant as herein specified. All metal connectors and fasteners used in exposed locations or in areas otherwise subject to corrosion shall be of corrosion-resistant or noncorrosive material. The number of common nails specified is the total required and shall be equally divided on each side of the connection. Nails shall be spaced to avoid splitting of the wood.

**Exception:** Pre-manufactured connectors that provide equal or greater tie-down capacity may be used, provided that they are installed in compliance with all the manufacturer's specifications.

**AL103.2 Wall-to-foundation tie.** Exterior walls shall be tied to a continuous foundation system or an elevated foundation system in accordance with Section AL105.

**AL103.3 Sills and foundation tie.** Foundation plates resting on concrete or masonry foundations shall be bolted to the foundation with not less than ½-inch-diameter (13 mm) anchor bolts with 7-inch-minimum (178 mm) embedment into the foundation and spaced not more than 4 feet (1219 mm) on center.

**AL103.4 Floor-to-foundation tie.** The lowest-level exterior wall studs shall be connected to the foundation sill plate or an approved elevated foundation system with bent tie straps spaced not more than 32 inches (813 mm) on center. Tie straps shall be nailed with a minimum of 4 ten penny nails.

**AL103.5 Wall framing details.** The spacing of studs in exterior walls shall be in accordance with Chapter 23. Mechanical fasteners complying with this chapter shall be installed at a maximum of 32 inches (813 mm) on center as required to connect studs to the sole plates, foundation sill plate and top plates of the wall. The fasteners shall be nailed with a minimum of 8 eight penny nails.

Where openings exceed 4 feet (1219 mm) in width, the required tie straps shall be at each edge of the opening and connected to a doubled full-height wall stud. When openings exceed 12 feet (3658 mm) in width, two ties at each connection or a manufactured fastener designed to prevent uplift shall be provided.

**AL103.6 Wall sheathing.** All exterior walls and required interior main cross-stud partitions shall be sheathed in accordance with Chapter 23.

**AL103.7 Floor-to-floor tie.** Upper-level exterior wall studs shall be aligned and connected to the wall studs below with tie straps placed a maximum of 32 inches (813 mm) on center and connected with a minimum of 6 eight penny nails per strap.

**AL103.8 Roof-members-to-wall tie.** Tie straps shall be provided from the side of the roof-framing member to the supporting member below the roof. Tie straps shall be placed at every roof-framing member and connected with a minimum of 8 eight penny nails.

**AL103.9 Ridge ties.** Opposing common rafters shall be aligned at the ridge and be connected at the rafters with tie straps spaced a maximum of 32 inches (813 mm) on center and connected with 8 eight penny nails.

**AL103.10 Gable-end walls.** Gable-end wall studs shall be continuous between points of lateral support that are perpendicular to the plane of the wall. Gable-end wall studs shall be attached with approved mechanical fasteners at the top and bottom. Eight 8 penny nails shall be required for each fastener. Fasteners shall be spaced a maximum of 32 inches (813 mm) on center.

SECTION AL104  
ROOFS

**AL104.1 Roof sheathing.** Solid roof sheathing shall be applied and shall consist of a minimum 1-inch-thick (25.4 mm) nominal lumber applied diagonally or a minimum 15/32-inch-thick (11.9 mm) wood structural panel or particle board (OSB) or other approved sheathing applied with the long dimension perpendicular to supporting rafters. Sheathing shall be nailed to roof framing in an approved manner. The end joints of wood structural panels or particle board shall be staggered and shall occur over blocking, rafters, or other supports.

**AL104.2 Roof covering.** Roof coverings shall be approved and shall be installed and fastened in accordance with Chapter 15 and with the manufacturer's instructions.

**AL104.3 Roof overhang.** The roof eave overhang shall not exceed 3 feet (914 mm) unless an analysis is provided showing that the required resistance is provided to prevent uplift. The roof overhang at gabled ends shall not exceed 2 feet (610 mm) unless an analysis showing that the required resistance to prevent uplift is provided.

SECTION AL105  
ELEVATED FOUNDATION

**AL105.1 General.** When approved, elevated foundations supporting not more than one story and meeting the provisions of this section may be used. A foundation investigation may be required by the building official.

**AL105.2 Material.** All exposed wood-framing members shall be treated wood. All metal connectors and fasteners used in exposed locations shall be corrosion-resistant or noncorrosive steel.

**AL105.3 Wood piles.** The spacing of wood piles shall not exceed 8 feet (2438 mm) on center. Square piles shall not be less than 10 inches (254 mm) and tapered piles shall have a tip of not less than 8 inches (203 mm). Eight-inch-square (5161 mm<sup>2</sup>) piles shall have a minimum embedment length of 5 feet (1524 mm) and shall project not more than 8 feet (2438 mm) above undisturbed ground surface. Eight-inch (203 mm) taper piles shall have a minimum embedment length of 6 feet (1828 mm) and shall project not more than 7 feet (2134 mm) above undisturbed ground surface.

**AL105.4 Girders.** Floor girders shall consist of solid sawn timber, built-up 2-inch-thick (51 mm) lumber, or trusses. Splices shall occur over wood piles. The floor girders shall span in the direction parallel to the potential floodwater and wave action.

**AL105.5 Connections.** Wood piles may be notched to provide a shelf for supporting the floor girders. The total notching shall not exceed 50 percent of the pile cross section. Approved bolted connections with ¼-inch (6.4 mm) corrosion-resistant or noncorrosive steel plates and ¾-inch-diameter (19 mm) bolts shall be provided. Each end of the girder shall be connected to the piles using a minimum of two ¾-inch-diameter (19 mm) bolts

DESIGN LOADS:

2018 INTERNATIONAL RESIDENTIAL CODE  
2017 NATIONAL ELECTRICAL CODE  
ULTIMATE WIND LOAD DESIGN = 140 MPH  
ROOF LIVE LOAD = 20.0 PSF  
ROOF DEAD LOAD = 10.0 PSF  
FLOOR LIVE LOAD = 40.0 PSF  
FLOOR DEAD LOAD = 10.0 PSF

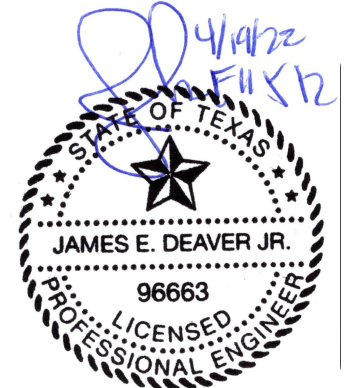
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Engineer:



Project Name and Address  
Noyes Residence  
8316 Winningham Ln  
Houston, TX 77055

Project: 22-01011 Sheet  
Date: S12  
Scale:

Cheryl Saha  
8320 Winningham Ln  
Houston, TX 77055

City of Spring Valley  
Planning and Zoning  
1025 Campbell Rd  
Houston, TX 77055

Dear City of Spring Valley:

I am the immediate west neighbor to 8316 Winningham Ln where a home remodel/addition is in planning to begin pending approval from City of Spring Valley. I have reviewed the plans/layout of the new structure relative to the existing structure and feel this will improve the overall value of the neighborhood and be a nice addition to the home of Adam and Jamie Noyes. The below survey shows the existing garage vs the new garage addition where the side property line setback is in question. I do not have an issue with the current layout or footprint of the new structure in relation the location to the property line (same nearest side setback for both existing and new addition) separating my home, 8320 Winningham Ln and the home of Adam and Jamie Noyes at 8316 Winningham Ln.

**Current garage setback from side property line 2.9'**

**New garage setback from side property line 2.9'**

Allowable per ordinance:

<b>Side setback (8')</b> <b>Side Property Adjoining local/collector street (15')</b> <b>Side Property Adjoining Major Thoroughfare (25')</b> <b>(Chap. 12 Sec. 05:02.03.09.03)</b> <b>*note stairs can not be in required setbacks.</b>	<b>DNC</b> <b>Plans</b> <b>currently</b> <b>show 2.9'</b> <b>from side</b> <b>yard.</b>
---	--





Matt Henderson  
8329 Winningham Ln  
Houston, TX 77055

City of Spring Valley  
Planning and Zoning  
1025 Campbell Rd  
Houston, TX 77055

Dear City of Spring Valley:

I am the immediate south neighbor to 8316 Winningham Ln where a home remodel/addition is in planning to begin pending approval from City of Spring Valley. I have reviewed the plans/layout of the new structure relative to the existing structure and feel this will improve the overall value of the neighborhood and be a nice addition to the home of Adam and Jamie Noyes. The below survey shows the existing garage vs the new garage addition where the side property line setback is in question. I do not have an issue with the current layout or footprint of the new structure in relation the location to the property line (same nearest side setback for both existing and new addition) separating my home, 8320 Winningham Ln and the home of Adam and Jamie Noyes at 8316 Winningham Ln.

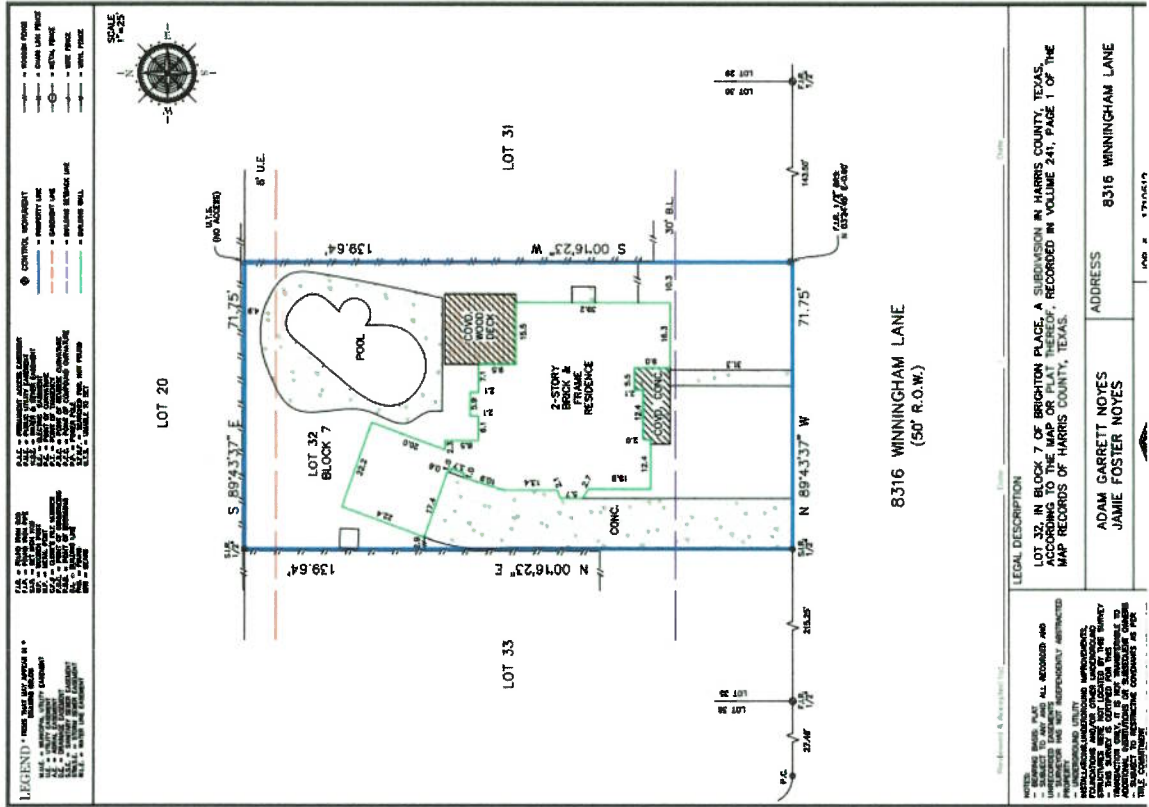
**Current garage setback from side property line 2.9'**

**New garage setback from side property line 2.9'**

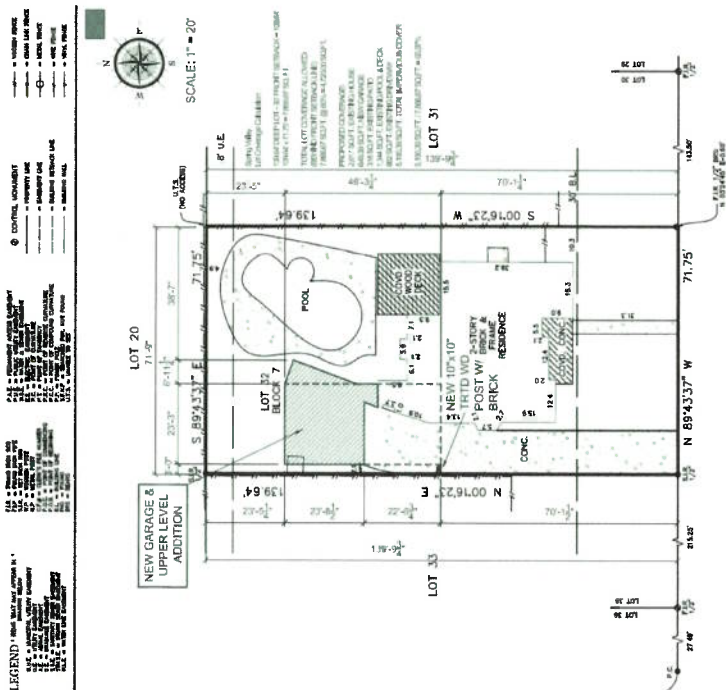
Allowable per ordinance:

<b>Side setback (8')</b> <b>Side Property Adjoining local/collector street (15')</b> <b>Side Property Adjoining Major Thoroughfare (25')</b> <b>(Chap. 12 Sec. 05:02.03.09.03)</b> <b>*note stairs can not be in required setbacks.</b>	<b>DNC Plans currently show 2.9' from side yard.</b>
---	--

Existing survey garage and home footprint.



Survey showing new addition footprint.



8316 WINNINGHAM LANE  
 (50' R.O.W.)

**LEGAL DESCRIPTION**  
 LOT 33, IN BLOCK 7 OF WINNINGHAM PLACE, A SUBDIVISION IN HARRIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 241, PAGE 1 OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS.

**PRO-SURV**  
 JOB # 1710512  
 DATE 11-2-17  
 REF 17004715

**ADDRESS**  
 8316 WINNINGHAM LANE

**ADAM GARRETT NOYES  
 JAMIE FOSTER NOYES**

**OF HARRIS COUNTY, TEXAS**

THE ENGINEER'S SEAL AND SIGNATURE ARE REQUIRED ON ALL PLATS AND MAPS. THE SEAL OF THE ENGINEER MUST BE PLACED IN THE RIGHT HAND CORNER OF THE PLAT. THE SEAL OF THE ENGINEER MUST BE PLACED IN THE RIGHT HAND CORNER OF THE PLAT. THE SEAL OF THE ENGINEER MUST BE PLACED IN THE RIGHT HAND CORNER OF THE PLAT.

Sincerely,

*Matt Henderson*

Matt Henderson  
 8329 Winningham Ln  
 Houston, TX 77055  
 713-530-0526



Official Government Document  
Produced by  
Harris County Appraisal District

**THIS DOCUMENT CONTAINS CONFIDENTIAL INFORMATION**  
**2021 APPRAISAL EVIDENCE SUMMARY**  
**ACCOUNT : 110-033-000-0032**

**NOYES ADAM GARRETT FOSTER**  
**JAMIE ANN**

Property Location	
8316 WINNINGHAM LN HOUSTON TX 77055 LT 32 BLK 7 BRIGHTON PLACE MKT Area : 394 NBHD Grp : 25201 NBHD : 7813.04	Facet : 5058B Key Map® : 491A

Building Characteristics	
A1 -- Real, Residential, Single-Family	
A1 -- Real, Residential, Single-Family	
1001 -- Residential Single Family	
Number of Bldgs	1
Building % Complete (Bldg. 1)	100%
Year Built / Remodeled	1979 / 2009
Effective Year Built	1979
Total Living Area (All Bldgs)	2,917
Total Bedrooms (All Bldgs)	4
Total Baths: Full / Half (All Bldgs)	2 / 1
Cond. / Desir. / Util. (CDU)	Very Good
Grade	B+
Foundation Type	Slab
Exterior Wall	Brick / Masonry
Cost and Design	Extensive(92)

Additional Information	
New Owner Date	11/16/2017
Exemptions	Residential Homestead
Acreage	0.2300 AC
Land Area	10,019 SF
Land / SF	\$52.45
Tiebacks Exist	No
Undivided Interest Account	No
Evidence Requested (as of 4/21/2021)	No

Recent Sales Information *
There are no recorded sales for this property in tax years 2018 - 2021.



Picture Taken 3/7/2016

Extra Features		
#	Description	Units
1	Frame Detached Garage	1
2	Gunite Pool	1
3	Pool SPA with Heater	1
4	Canopy - Residential	1

Noticed Value Detail	
Primary Valuation Method : CAMA	
Total Improvement Value	\$390,922
Land Value	\$525,499
<hr/>	
Market Value	\$916,421
Appraised Value	\$839,850
New Construction Value	\$0

Equity Analysis	
Subject Value At Median :	\$914,000

**DIVIDER PAGE**

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### 05:02.03 Size and Area Requirements:

#### .09 Building line setbacks: (Ordinance 231)

.09.01 General: The following restrictions shall apply to all construction of or addition to new or pre-existing buildings, dwellings, garages, and accessory use buildings.

#### .09.03 Side building line setback.

09.03.01 Adjoining another lot. For adjoining side property lines, the side building setback shall be not less than eight feet (8'). Where a side property line adjoins the rear property line of adjacent property, the side yard setback for the second story shall be not less than fifteen feet (15'). (Ordinance 2006-05 adopted 3-28-06)

.09.03.02 Adjoining a local or collector street. Adjoining a local or collector street right-of-way the minimum side building line setback shall be fifteen feet (15').

.09.03.03 Adjoining a major-thoroughfare. Adjoining a major-thoroughfare the minimum side building line setback shall be twenty-five feet (25').

.09.03.04 Setback adjustment. If a side lot line adjoins a right-of-way of less width than the minimum required by the City's Subdivision Development Ordinance or the City's Street and thoroughfare plan, there shall be added to the setback additional footage to compensate for the deficit, in order to preserve setbacks and the alignment of homes.

.09.03.05 An exception to the side building line setback for pre-existing dwellings and pre-existing garages. This subsection is applicable to pre-existing dwellings and pre-existing garages only. It is the intent of this subsection to permit a one-story enlargement or a one-story alteration of a pre-existing dwelling or pre-existing garage (whether one story or greater) within the side setback area as described in this subsection. A dwelling or garage that was constructed (pre-existing only) from the side property line of an adjoining lot, street or major-thoroughfare as permitted by the city's regulations then in effect may be enlarged or altered within the side building line setback adjoining another lot, street or major-thoroughfare provided that the one-story enlargement or one-story alteration is no closer to the side lot line than the pre-existing structure and is no closer than five feet from the side property line of the adjoining lot, street, or major thoroughfare. Further, the one-story enlargement or the one-story alteration within the current side setback area of the adjoining lot, street or major-thoroughfare shall not exceed in height the one-story height of the pre-existing structures on the lot based upon their first floor plate height and roof slope. This exception applies only to side building line setbacks. (Ordinance 96-10; Ordinance 2003-02 adopted 1-20-03; Ordinance 2009-13 adopted 8-25-09)

#### .09.04. Rear building line setback.

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09.04.01 Rear setback. For adjoining rear property lines, the rear building setback shall be not less than ten feet (10') for the first story, and not less than twenty five feet (25') for the second story. Where a rear property line adjoins the side property line of adjacent property, the rear yard setback shall be not less than ten feet (10'). (Ordinance 2006-05 adopted 3-28-06)

.09.04.02 Adjoining a local or collector street. Adjoining a local or collector street right-of-way the minimum required rear building setback shall be fifteen feet (15').

.09.04.03 Adjoining a major-thoroughfare. Adjoining a major-thoroughfare the minimum required rear building line setback shall be twenty-five feet (25').

.09.04.04 Setback adjustment. If a lot backs up to a right-of-way of less width than the minimum as required in the City's Street and Thoroughfare Plan there shall be added to the setback additional footage to compensate for the deficit, in order to preserve setbacks and the alignment of homes.

.09.04.05 Pre-existing lot. If the pre-existing lot depth is less than the minimum depth required by the City Subdivision Development Ordinance, the rear building line setback shall not be less than the setback shown on the pre-existing recorded plat, but in no event less than ten feet (10').

**DIVIDER PAGE**



EST. 1955

**SPRING VALLEY**  
V I L L A G E

October 20, 2022

Dear Property Owner:

**Notice Is Hereby Given To Hear Comments And Testimony Regarding The Following Proposed Variance:**

A Request from Adam Noyes for a variance from Chapter 12 of the City of Spring Valley Village's Code of Ordinances, Planning and Zoning, Subsection 05:02.03.09.04, Rear Building Line Setback, of Section 5, Building and Use Restrictions in Dwelling District "A", to allow a new second story to be 23.6 Feet from the Rear Property Line, Instead of the Required 25 Feet, for the Property Located at 8316 Winningham Lane, in the City of Spring Valley Village, Texas.

The **Board of Adjustments** of the City of Spring Valley Village will hold a public hearing regarding this request to provide all interested parties the right to appear and request information on:

**Date:** Wednesday, November 16, 2022

**Time:** 6:00 p.m.

**Location:** Council Chambers of Spring Valley Village City Hall, 1025 Campbell Road

This notice is being sent to you as current property records indicate that you own property in close proximity to 8836 Larston Street. All interested parties are invited to attend both public hearings and will have the opportunity to be heard. For further information, please contact me at (832) 910-8577 or [zmeadows@springvalleytx.com](mailto:zmeadows@springvalleytx.com).

Sincerely,

A handwritten signature in blue ink, appearing to read "Zachary Meadows", is written over the typed name and title.

Zachary Meadows  
Director of Community Development

Brian & Cherish Bradshaw  
28 N. Creekside Ct.  
Houston, TX 77055

Trent Foltz  
8324 Burkhart Cir.  
Houston, TX 77055

James A. Becker  
8335 Wunningham Ln.  
Houston, TX 77055

Current Owner  
8324 Wunningham Ln.  
Houston, TX 77055

Peter E. & Susan Norris  
8313 Burkhart Cir.  
Houston, TX 77055

Erik & Manon R. Mrok  
8339 Wunningham Ln.  
Houston, TX 77055

Current Owner  
8316 Wunningham Ln.  
Houston, TX 77055

Martin & Elizabeth Perez  
8317 Burkhart Cir.  
Houston, TX 77055

Sammy Lacorte  
8325 Wunningham Ln.  
Houston, TX 77055

Nira J. Proto  
8331 Wunningham Ln.  
Houston, TX 77055

Sung Chul & Han Hee Kim  
8305 Burkhart Cir.  
Houston, TX 77055

Gerardo & Mala Salvador  
Revocable Trust  
8328 Wunningham Ln.  
Houston, TX 77055

Marcus B. & Jennifer M. Vajdos  
8325 Burkhart Cir.  
Houston, TX 77055

James M. Stark  
8304 Wunningham Ln.  
Houston, TX 77055

Miguel A. & Joanna F. Castro  
8308 Wunningham Ln.  
Houston, TX 77055

Mark E. & Ann R. Cohen  
30 N. Creekside Ct.  
Houston, TX 77055

Hoosein Banon  
8317 Wunningham Ln.  
Houston, TX 77055

Donald Lee Migl  
8312 Wunningham Ln.  
Houston, TX 77055

Sandra M. Brewer  
8321 Burkhart Cir.  
Houston, TX 77055

Cheryl A. Saha  
8320 Wunningham Ln.  
Houston, TX 77055

Oscar G. & Harriet D. Salem  
32 N. Creekside Ct.  
Houston, TX 77055

Jeanette S. Harris  
8309 Burkhart Cir.  
Houston, TX 77055

Alexandra F. & Benjamin B.  
Ten Have  
8341 Wunningham Ln.  
Houston, TX 77055

John G. Jr. & Cheryl Meador  
24 N. Creekside Ct.  
Houston, TX 77055

John S. & Emily J. Kennedy  
8329 Burkhart Cir.  
Houston, TX 77055

Humberto G. Kuhn  
8321 Wunningham Ln.  
Houston, TX 77055

Eddy K. Lim  
8316 Burkhart Cir.  
Houston, TX 77055

Matthew & Danielle Henderson  
8329 Wunningham Ln.  
Houston, TX 77055

**DIVIDER PAGE**

**PUBLIC NOTICE  
CITY OF SPRING VALLEY VILLAGE, TEXAS  
NOTICE OF PUBLIC HEARING**

**Notice Is Hereby Given To Hear Comments And Testimony Concerning The Following:**

A Request from Adam Noyes for a variance from Chapter 12 of the City of Spring Valley Village's Code of Ordinances, Planning and Zoning, Subsection 05:02.03.09.04, Rear Building Line Setback, of Section 5, Building and Use Restrictions in Dwelling District "A", to allow a new second story to be 23.6 Feet from the Rear Property Line, Instead of the Required 25 Feet, for the Property Located at 8316 Winningham Lane, in the City of Spring Valley Village, Texas.

The **Board of Adjustment** of the City of Spring Valley Village will hold a public hearing regarding this request to provide all interested parties the right to appear and request information on:

**Date:** Wednesday, November 16, 2022

**Time:** 6:00 p.m.

**Location:** Council Chambers  
Spring Valley Village City Hall  
1025 Campbell Road  
Houston, TX 77055

**For additional information regarding this public hearing, please contact the Director of Community Development Zachary Meadows at (713) 465-8308.**

**DIVIDER PAGE**



### RESIDENTIAL ZONING CHANGE NOTIFICATION SIGN CRITERIA

A zoning sign is a sign erected on property for which a zoning case has been filed with the City, including, but not limited to, zoning changes, Specific Use Permits, Variances, or Special Exceptions. **The number of signs and the placement of signs shall be determined by the Building Official at the time of submittal.** It is the responsibility of the owner/project representative to contact the Building Department to verify the number and location of signs needed.

Residential property owners/applicants need to contact the City Secretary to schedule pick up and drop off times for the signs.

**IF YOU HAVE ANY QUESTIONS, PLEASE CALL (713) 465-8308.**

#### **ADHERE TO THE FOLLOWING INSTRUCTIONS:**

##### PLACEMENT

- One (1) sign shall be erected by the applicant adjacent to each street frontage on the property that is the subject of the application and for each two hundred feet (200') of frontage along a street with a maximum of three (3) signs required per street frontage.
- Signs shall be placed in a location on private property and clearly visible from all streets adjacent to the property included in the application.
- Where land does not have frontage on a public street, signs shall be posted on the nearest public street with a notation indicating the location of the land subject to the application.
- Signs shall be no greater than twenty (20) feet from the property line and shall be a minimum of two (2) feet off the ground, unless otherwise directed by the Building Official or his/her designee.
- Signs shall be placed perpendicular to the roadway to ensure they are readable from both sides


- Signs shall be located so that the lettering is visible and may be clearly read from the street.

##### PROOF OF POSTING

- **The applicant shall erect the sign(s) on the property that is the subject of the application a minimum of seven (7) calendar days immediately preceding the date of the public hearing before the Board of Adjustments)**
- The applicant is responsible for maintaining the sign(s) on the property throughout the review process.
- A minimum of seven (7) calendar days prior to the public hearing, the applicant shall file an affidavit, on a form provided by the City, with the Building Official verifying that the sign(s) was posted as required, and return them to the City Hall.

##### REMOVAL OF SIGNS

- **The applicant shall be responsible for removing the sign(s) from the property within seven (7) calendar days of the final action on the application by the Board**

Preparer's Name: ADAM NOYES Preparer's Signature: 

**NOTE: Violations of the sign ordinance will result in fines to the property owner and will delay the request for Zoning or Specific Use Permit. Failure to remove zoning signs per the sign ordinance will result in a citation of \$500 per sign/per day until removed.**



**AFFIDAVIT OF SIGN POSTING**

(Re)Zoning Case No. VAPL-2022-02

Date of Board of Adjustment Meeting: 11/16/22

In accordance with the requirements of Section 01:03:02 of Exhibit 'A' of Chapter 12 of the Code of Ordinances of the City of Spring Valley Village, Texas, I ADAM NOYES hereby certify that I have posted or caused to be posted Zoning Change Notification sign(s) on the property subject to zoning change, located at 8316 Winningham Ln Houston Tx 77055

Posting of said signs was accomplished on 11/4/22 as provided for in Section 01:03:02 of Exhibit 'A' of Chapter 12 of the Code of Ordinances of the City of Spring Valley Village. Said signs have been posted in a manner which provides an unobstructed view and which allows clear reading from the public right(s)-of-way along Winnigham Ln.

I further certify that this affidavit was filed with the Building Department of the City of Spring Valley Village within the time provisions of Section 01:03:02 of Exhibit 'A' of Chapter 12 of the Code of Ordinances of the City of Spring Valley Village.

Executed this date: 11/4/22

Printed Name of Applicant or Authorized Representative for Zoning Case No. ADAM NOYES

Signature of Applicant or Authorized Representative for Zoning Case No. [Handwritten Signature]

Sworn and subscribed before me on this date: 11/04/2022

Notary Public [Handwritten Signature]



**PLEASE NOTE: Failure to post the notification sign(s) on the property by the close of business (4:30 pm) seven (7) days prior to the Board of Adjustment public hearing shall result in the postponement of consideration by the Board.**

**STAFF USE ONLY:**

Date/Time submitted: 11/04/22 1:51 PM Verified by: Zach Meadows



(Re)Zoning Case No. VAR-2022-02

Date of Board of Adjustment Meeting: 11/16/22

In accordance with the requirements of Section 01:03:02 of Exhibit 'A' of Chapter 12 of the Code of Ordinances of the City of Spring Valley Village, Texas, I ADAM NOYES hereby certify that Zoning Change Notification sign(s) have been maintained on the property subject to zoning change, located at 8316 Winningham Ln Houston Tx 77055

I further certify that this affidavit was filed with the Building Department of the City on date 11/4/22 within the time provisions of Section 01:03:02 of Exhibit 'A' of Chapter 12 of the Code of Ordinances of the City of Spring Valley Village.

I understand that I am required to remove said signs within seven (7) calendar days of any final action on the application taken by the City of Spring Valley Village Board of Adjustment regarding the zoning change.

Executed this date: 11/4/22

Printed Name of Applicant or Authorized Representative for Zoning Case No. ADAM NOYES

Signature of Applicant or Authorized Representative for Zoning Case No. [Handwritten Signature]

Sworn and subscribed before me on this date: 11/04/2022

Notary Public [Handwritten Signature]



**PLEASE NOTE: Failure to maintain the signs prior to the Board of Adjustment public hearing may result in postponement of consideration if the applicant has not attempted to replace damaged or missing signs upon notification by Staff.**

FOR STAFF USE ONLY:

Date/Time submitted: 11/04/22 1:52 AM Verified by: Zach Meadows

RCVD  
PM 1:52  
4 NOV '22

**Spring Valley Village Board of Adjustment  
Agenda Item Data Sheet**

**MEETING DATE:** November 16, 2022

**TOPIC:** **CONSIDERATION AND POSSIBLE ACTION CONCERNING:** A Request from Adam Noyes for a variance from Chapter 12 of the City of Spring Valley Village’s Code of Ordinances, Planning and Zoning, Subsection 05:02.03.09.04, Rear Building Line Setback, of Section 5, Building and Use Restrictions in Dwelling District “A”, to allow a new second story to be 23.6 Feet from the Rear Property Line, Instead of the Required 25 Feet, for the Property Located at 8316 Winningham Lane, in the City of Spring Valley Village, Texas.

**BACKGROUND:** In the previous agenda item, the Board of Adjustment held a public hearing concerning a variance request to the rear setback requirements for the property located at 8316 Winningham Lane.

Criteria for Evaluation of Variance Request.

Variations should be granted only in limited instances. Section 211.009 of the Texas Local Government Code provides that a Board of Adjustment may “authorize in specific cases a variance from the terms of the zoning ordinance if:

1. The variance is not contrary to the public interest; and
2. Due to special conditions, a literal enforcement of the ordinance would result in an unnecessary hardship; and
3. So that the spirit of the ordinance is observed and substantial, justice is done.
4. The financial cost of compliance is greater than 50 percent of the appraised value of the structure as shown on the most recent appraisal roll certified to the assessor for the municipality under Section 26.01, Tax Code;
5. Compliance would result in a loss to the lot on which the structure is located of at least 25 percent of the area on which development may physically occur;
6. Compliance would result in the structure not being in compliance with a requirement of a municipal ordinance, building code, or other requirement;
7. Compliance would result in the unreasonable encroachment on an adjacent property or easement; or
8. The municipality considers the structure to be a nonconforming structure.

The “special conditions” and “unnecessary hardship” phrases have been the subject of numerous appellate court decisions.


**Hardship Test:** Does the enforcement of the ordinance destroy **any reasonable use** of his property? (*Reiter v.*

**Spring Valley Village Board of Adjustment  
Agenda Item Data Sheet**

*City of Keene*, 601 S.W.2d 547 (Tex. App. – Waco 1980, writ dismiss'd)).  
In other words: "Is the environment such that the lot is not reasonably adapted to a conforming use?" (*Board of Adjustment v. Stovall*, 218 S.W.2d 286 (Tex. Civ. App. – Fort Worth 1949, no writ)).

**RECOMMENDATION:** None

**ATTACHMENTS:** • None

<b>SUBMITTING STAFF MEMBER:</b>  Zachary Meadows, Director of Community Development	<b>CITY ADMINISTRATOR APPROVAL:</b> 
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**Spring Valley Village  
Board of Adjustment  
Agenda Item Data Sheet**

**MEETING DATE:** November 16, 2022

**TOPIC:** **CONDUCT A PUBLIC HEARING CONCERNING:** A Request from Christopher Brian Craft for a variance from Chapter 12 of the City of Spring Valley Village’s Code of Ordinances, Planning and Zoning, Subsection 11:01.05, Permitted Locations, of Section 11, Supplemental District Regulations, to allow the construction of an 8 Foot Fence along the Front Property Line, for the Property Located at 1214 Campbell Road, in the City of Spring Valley Village, Texas.

**BACKGROUND:** Christopher Brian Craft (“Applicant”) wishes to place an 8-foot fence along the front property line of a vacant lot located at 1214 Campbell Road (“Property”).

Mr. Craft bought 1213 Tamy Lane, which is directly behind the subject Property. While a new home was being built for Mr. Craft, also bought 1214 Campbell Road to add additional back yard to his lot. However, the Property (1214 Campbell Road) remains a separately platted piece of property and not legally combined with the property at 1213 Tamy Lane.

The Zoning Regulations of the City of Spring Valley Village specifically call out fence requirements for vacant properties. Subsection 11:01.05, Permitted Locations, of Section 11, Supplemental District Regulations, of Exhibit “A” to Chapter 12, Zoning, of the Code of Ordinances requires as follows:

“11:01.05 - PERMITTED LOCATIONS:

The overall intent of this section is to allow property owners to fence or wall their properties from and including the front building line to and around the back yard. Fences may be constructed along rear and side property lines and terminate with front lot fences into the side of primary structure. Side lot fences may extend up to a point as close to the front property setback line as the front foundation line of either the associated or neighboring primary structure. For sake of clarification, minor extensions of a primary structure, such as porches, steps or other appendages, are not included in establishing the front foundation line. Front lot fences of a property may not extend beyond its front building foundation line or extend across the front of the primary structure. Additionally, if a lot has no structure, then a front lot fence with a maximum height of six feet (6’) may be constructed parallel to a line as close to the front property setback line as the front

**Spring Valley Village  
Board of Adjustment  
Agenda Item Data Sheet**

foundation of the neighboring primary structure on either side. No fence, even if allowed by exception, shall be located in the sight triangle as defined by Section 12:02 of Code of Ordinances.

As proposed in the submission to the Community Development Department the fence that Mr. Craft would like to build is proposed at eight (8') feet instead of the required six (6') feet and in addition instead of placing the fence off the property line a minimum of twenty-five (25') feet, he is proposing the fence be located directly on the front property line of 1214 Campbell Road.

The Applicant has provided as a part of their application what they consider justification as to why the variance should be granted.

**RECOMMENDATION:** Not applicable during the public hearing.

- ATTACHMENTS:**
- Variance Application Packet Submitted by Christopher Brian Craft for 1214 Campbell Road
  - Subsection 11:01.05 of the Zoning Ordinance
  - Notice of Public Hearing and Mailing Labels
  - Zoning Change Sign Posting and Maintenance Affidavits

**SUBMITTING STAFF MEMBER:**  
  
Zachary Meadows, Director of  
Community Development

**CITY ADMINISTRATOR APPROVAL:**  




**DIVIDER PAGE**



**SPRING VALLEY**  
VILLAGE

**Community Development**  
City of Spring Valley Village

**BOARD OF ADJUSTMENTS APPLICATION**

**PROPERTY INFORMATION**

Property Address: 1214 Campbell Road

Legal Description: Ruvern Village Lot 23 Block 3

Present District Zoning:

Action Requested (Circle):  Variance  Special Exception  Appeal

Requested Variance/Special Exception/Appeal Description:  
I am requesting a variance to 11:01.05 - Permitted Locations. I am requesting to build an 8 foot wooden fence on the property line of Campbell Road.

**OWNER INFORMATION**

Name: Christopher Brian Craft Phone#: 713-876-8074

Address: 1106 Lone Star Drive Houston 77055

Email:

**APPLICANT/AGENT INFORMATION**

Name: Phone#:

Address:

Email:

\*\*If applicant is different than property owner a **Notarized Letter of Authorization** must be attached to the application

**PROPERTY OWNER/AGENT AUTHORIZATION**

**Property Owner Consent/Agent Authorization:** By my signature, I hereby affirm that I am the property owner of record, or if the applicant is an organization or business entity, that authorization has been granted to represent the owner, organization or business in this application. I certify that the preceding information is complete and accurate, and it is understood that I agree to the application being requested for this property. Additionally, my signature below indicates my awareness of the fee required at the time of the application submittal and any additional fees as noted in the City's fee schedule. This fee is non-refundable even in the event of application withdrawal.

Signature of Contractor/Authorized Agent: Printed Name: Brian Craft Application Date: 9-28-22

**FOR OFFICE USE ONLY**

BOA Case Number: \_\_\_\_\_ Date Submitted: \_\_\_\_\_

BOA Meeting Date: \_\_\_\_\_ BOA Decision:  Approved  Denied



## Plan Review Comment Letter

PROJECT INFORMATION	
Address: 1214 Campbell Road, Houston Texas 77055	Date: 09/19/2022
Project Description: New Residential Fence Construction	

For any questions regarding this comment letter, please contact Director of Community Development, Zachary Meadows via email at [planreview@springvalleytx.com](mailto:planreview@springvalleytx.com).

### Plans are disapproved with the following comments:

1. Being that this lot is a vacant lot and has never been re-platted with any adjacent lot; the fence needs to be meet the fence regulations as follows and highlighted:

#### 11:01.05 - PERMITTED LOCATIONS:

The overall intent of this section is to allow property owners to fence or wall their properties from and including the front building line to and around the back yard. Fences may be constructed along rear and side property lines and terminate with front lot fences into the side of primary structure. Side lot fences may extend up to a point as close to the front property setback line as the front foundation line of either the associated or neighboring primary structure. For sake of clarification, minor extensions of a primary structure, such as porches, steps or other appendages, are not included in establishing the front foundation line. Front lot fences of a property may not extend beyond its front building foundation line or extend across the front of the primary structure. **Additionally, if a lot has no structure, then a front lot fence with a maximum height of six feet (6') may be constructed parallel to a line as close to the front property setback line as the front foundation of the neighboring primary structure on either side.** No fence, even if allowed by exception, shall be located in the sight triangle as defined by Section 12:02 of Code of Ordinances.

September 29, 2022

Board of Adjustments  
Spring Valley Village

To whom it may concern,

I am applying for a variance for a fence to be built on 1214 Campbell Road. I would like for the fence to be 8 foot in height and to border the property line opposed to the build line of Campbell Road. The fence would eliminate the current driveway which feeds onto Campbell Road. I have attached an exhibit with each property within Spring Valley Village bordering Campbell Road. There are a total of 18 properties including 1214 Campbell that fit this description. Of the 18 properties, 14 have fences bordering Campbell Road built of either brick, wood, or chain link with heights from 6 to 9 feet tall. There are 3 properties including 1214 Campbell with frontage on Campbell Road, 1224 and 1218 Campbell Road. Each of these properties have extensive shrubs/trees bordering Campbell for privacy. The driveways feeding onto Campbell Road are the only exposed portions of the properties. Erecting a fence on the border of Campbell for 1214 Campbell will keep the property within the current aesthetic of other properties in Spring Valley Village. In fact, if denied the opportunity to build the requested fence, 1214 Campbell will be the only property bordering Campbell with a fence off the property line. Allowing the fence does not impose any safety or welfare issues for residents of Spring Valley Village. In order to comply with the current ordinance, as a property owner I would have to eliminate 3600 square feet of Campbell frontage by erecting the fence on the current build line opposed to property line.

Below are the questions and responses to each...

Q. Special circumstances exist that are peculiar to the land or structure.

R. As noted above, the property is one of only three with frontage on Campbell Road. All 18 properties with either side, back or front yards have some type of barrier on property line of Campbell Road. Our request will maintain the current aesthetic of all other properties on Campbell Road.

Q. These special circumstances are not self-imposed or the result of the actions of the applicant.

R. As a property owner, I am trying to maximize my property value while maintaining the aesthetic of the community.

Q. Literal interpretation and enforcement of the terms and provisions of the ordinance would cause an unnecessary and undue hardship.

R. Complying with the enforcement of the terms would result in removing approximately 3600 square feet of yard from the enclosed property. A pool is located within the property thus requiring a fence to be built to enclose the back yard.

Q. Granting the variance is a minimum action that will make use of the land or structure which is not contrary to the public interest and which would carry out the spirit of the ordinance and would result in a substantial justice.

R. Granting the variance will allow the property to be maximized and is not contrary to the public interest.

Q. Such variance will not alter the essential character of the district in which it is located or the property for which the variance is sought.

R. The variance sought will allow the character of the district to remain intact. Denial of the variance will alter the character of the district.

Q. Such variance will not authorize a use other than those uses specifically authorized for the district in which the property for which the variance is sought is located.

R. Correct.

Q. The variance will not adversely affect the health, safety or welfare of the public.

R. The variance will improve the safety of the public as it will remove a driveway that feeds directly into a thoroughfare.

Q. The financial cost of compliance is greater than 50 percent of the appraised value of the structure as shown on the most recent appraisal roll certified to the assessor for the municipality under Section 26.01 Tax Code.

R. N/A

Q. Compliance would result in a loss to the lot on which the structure is located of at least 25 percent of the area on which development may physically occur.

R. Compliance would result in loss of roughly 3600 square feet or 20% of property.

Q. Compliance would result in the structure not being in compliance with a requirement of a municipal ordinance, building code, or other requirement.

R. No

Q. Compliance would result in the unreasonable encroachment on an adjacent property or easement.

R. No

Q. The Municipality considers the structure to be a nonconforming structure.

R. No

Thank you for your consideration,

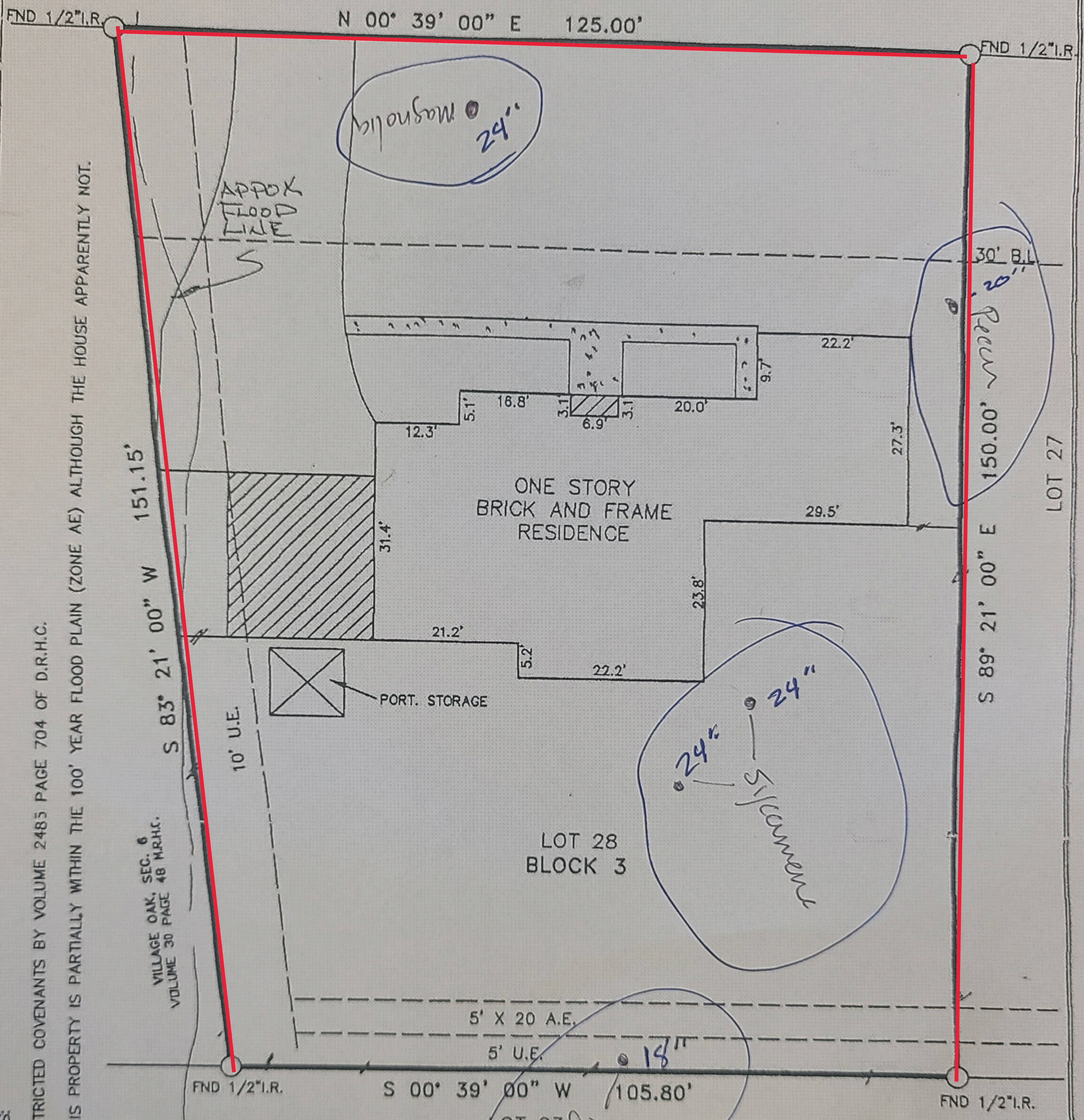
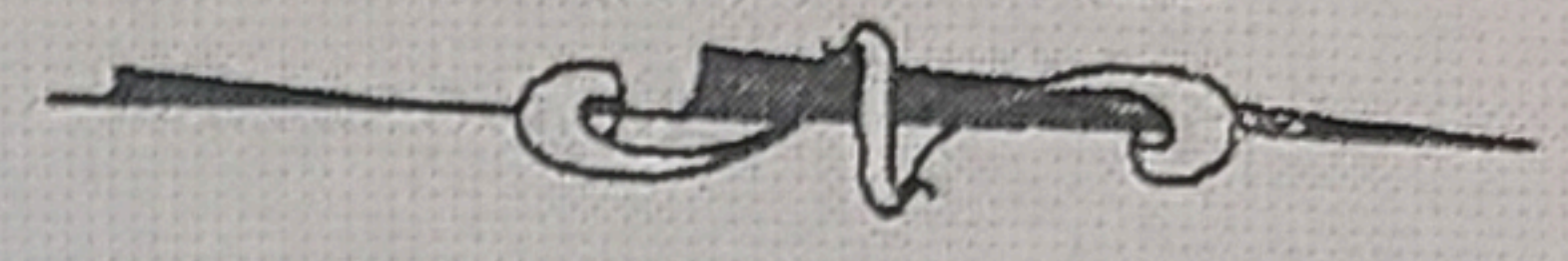
Brian and Ana Craft

Spring Valley Village Property owners

1214 Campbell, 1213 Tamy, 1106 Lone Star, 1323 Beutel

CAMPBELL ROAD  
( 60' R.O.W. )

SCALE 1"=20'



NOTES:  
1. RESTRICTED COVENANTS BY VOLUME 2485 PAGE 704 OF D.R.H.C.  
2. THIS PROPERTY IS PARTIALLY WITHIN THE 100' YEAR FLOOD PLAIN (ZONE AE) ALTHOUGH THE HOUSE APPARENTLY NOT.

Redline indicates purposed new fence. 8' tall, 2"x12" Rot board, 7' pickets, cedar cap and rail.

LOT: 28		BLOCK: 3		SUBDIVISION: RUVERN VILLAGE	
COUNTY: HARRIS	STATE: TEXAS	RECORDATION: VOLUME 30 PAGE 48 M.R.H.C.		JOB NO. 03-05-100	
PURCHASER: MARK UPCHURCH		MORTGAGE CO. CHASE MANHATTAN		FIELD WORK 06-02-03 K.R.	
ADDRESS:		TITLE CO.		DRAFTING 06-02-03 J.G.	
				FINAL CHECK 06-02-03 SR	



42 Windsor Court – 8 foot brick fence bordering Campbell on side yard property line.



47 Windsor Court – 8 foot brick fence bordering Campbell on side yard property line.



9022 Lupton Court – 8 foot wooden fence running bordering Campbell running along side yard and into front yard property line.



9023 Lupton Court – 7 foot wooden fence bordering Campbell running across backyard property line.



9040 Larston Street – 9 foot horizontal wooden fence bordering Campbell on backyard property line.



9045 Larston Street – 8 foot wooden fence bordering Campbell on backyard property line.



1224 Campbell – One of only three properties with frontage on Campbell. Shrubs and trees bordering Campbell for privacy.



9052 Elizabeth – Chain link and dense tree/shrub growth bordering Campbell on side yard of property line.



9035 Elizabeth Road – No fence or significant trees/shrubs bordering Campbell.



1218 Campbell – Property bordering 1214 Campbell (variance request property) to the North. Property is one of only 3 with frontage on Campbell. Significant shrub line created for privacy bordering Campbell.



1214 Campbell - Property requesting variance. Current construction fencing in place bordering Campbell. 1 of only 3 properties with frontage on Campbell.



3 Village Oaks Lane – 6 foot wrought iron fence and shrubs bordering Campbell on side yard property line.



2 Village Oaks Lane – 8 foot brick fence bordering Campbell on side yard property line.



9046 Bace Drive – 6 foot wooden fence bordering Campbell on side yard property line.



9047 Bace Drive – 7 foot wooden fence bordering Campbell on side yard property line.



4 Cardwell Court – 8 foot brick fence bordering Campbell on side yard property line.



5 Cardwell Court – 8 foot brick fence bordering Campbell on side yard property line.



3 Cardwell Court – 8 foot brick fence bordering Campbell on side yard property line.







**LOAN POLICY OF TITLE INSURANCE**  
**(Form T-2)**  
 Issued by  
**Title Resources Guaranty Company**

Any notice of claim and any other notice or statement in writing required to be given the Company under this Policy must be given to the Company at the address shown in Section 17 of the Conditions.

**COVERED RISKS**

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE EXCEPTIONS FROM COVERAGE CONTAINED IN SCHEDULE B AND THE CONDITIONS, TITLE RESOURCES GUARANTY COMPANY, a Texas corporation (the "Company") insures, as of Date of Policy and, to the extent stated in Covered Risks 11, 13 and 14, after Date of Policy, against loss or damage, not exceeding the Amount of Insurance, sustained or incurred by the Insured by reason of:

1. Title being vested other than as stated in Schedule A.
2. Any defect in or lien or encumbrance on the Title. This Covered Risk includes but is not limited to insurance against loss from:
  - (a) A defect in the Title caused by:
    - (i) forgery, fraud, undue influence, duress, incompetency, incapacity or impersonation;
    - (ii) failure of any person or Entity to have authorized a transfer or conveyance;
    - (iii) a document affecting Title not properly created, executed, witnessed, sealed, acknowledged, notarized or delivered;
    - (iv) failure to perform those acts necessary to create a document by electronic means authorized by law;
    - (v) a document executed under a falsified, expired or otherwise invalid power of attorney;
    - (vi) a document not properly filed, recorded or indexed in the Public Records including failure to perform those acts by electronic means authorized by law; or
    - (vii) a defective judicial or administrative proceeding.
  - (b) The lien of real estate taxes or assessments imposed on the Title by a governmental authority due or payable, but unpaid.
  - (c) Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
3. Lack of good and indefeasible Title.
4. No right of access to and from the Land.
5. The violation or enforcement of any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting or relating to:
  - (a) the occupancy, use or enjoyment of the Land;
  - (b) the character, dimensions or location of any improvement erected on the Land;
  - (c) subdivision of land; or
  - (d) environmental protection
 if a notice, describing any part of the Land, is recorded in the Public Records setting forth the violation or intention to enforce, but only to the extent of the violation or enforcement referred to in that notice.
6. An enforcement action based on the exercise of a governmental police power not covered by Covered Risk 5 if a notice of the enforcement action, describing any part of the Land, is recorded in the Public Records, but only to the extent of the enforcement referred to in that notice.
7. The exercise of the rights of eminent domain if a notice of the exercise, describing any part of the Land, is recorded in the Public Records.
8. Any taking by a governmental body that has occurred and is binding on the rights of a purchaser for value without Knowledge.
9. The invalidity or unenforceability of the lien of the Insured Mortgage upon the Title. This Covered Risk includes but is not limited to insurance against loss from any of the following impairing the lien of the Insured Mortgage:
  - (a) forgery, fraud, undue influence, duress, incompetency, incapacity or impersonation;
  - (b) failure of any person or Entity to have authorized a transfer or conveyance;



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- (a) created, suffered, assumed or agreed to by the Insured Claimant;
  - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
  - (c) resulting in no loss or damage to the Insured Claimant;
  - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 11, 13 or 14); or
  - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Insured Mortgage.
4. Unenforceability of the lien of the Insured Mortgage because of the inability or failure of an Insured to comply with applicable doing business laws of the state where the Land is situated.
  5. Invalidity or unenforceability in whole or in part of the lien of the Insured Mortgage that arises out of the transaction evidenced by the Insured Mortgage and is based upon usury or any consumer credit protection or truth in lending law.
  6. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is:
    - (a) a fraudulent conveyance or fraudulent transfer; or
    - (b) a preferential transfer for any reason not stated in Covered Risk 13(b) of this policy.
  7. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the Insured Mortgage in the Public Records. This exclusion does not modify or limit the coverage provided under Covered Risk 11(b).
  8. The refusal of any person to purchase, lease or lend money on the estate or interest covered hereby in the land described in Schedule A because of Unmarketable Title.

**CONDITIONS**

**1. DEFINITION OF TERMS.**

- (a) "Amount of Insurance": the amount stated in Schedule A, as may be increased or decreased by endorsement to this policy, increased by Section 8(b), or decreased by Section 10 of these Conditions.
- (b) "Date of Policy": The date designated as "Date of Policy" in Schedule A.
- (c) "Entity": A corporation, partnership, trust, limited liability company or other similar legal entity.
- (d) "Indebtedness": The obligation secured by the Insured Mortgage including one evidenced by electronic means authorized by law, and if that obligation is the payment of a debt, the Indebtedness is the sum of:
  - (i) the amount of the principal disbursed as of Date of Policy;
  - (ii) the amount of the principal disbursed subsequent to Date of Policy;
  - (iii) construction loan advances made subsequent to Date of Policy for the purpose of financing in whole or in part the construction of an improvement to the Land or related to the Land that the Insured was and continued to be obligated to advance at Date of Policy and at the date of the advance;
  - (iv) interest on the loan;
  - (v) prepayment premiums, exit fees and other similar fees or penalties allowed by law;
  - (vi) expenses of foreclosure and any other costs of enforcement;
  - (vii) amounts advanced to assure compliance with laws or to protect the lien or the priority of the lien of the Insured Mortgage before the acquisition of the estate or interest in the Title;
  - (viii) amounts to pay taxes and insurance; and,
  - (ix) reasonable amounts expended to prevent deterioration of improvements; but reduced by the total of all payments and by any amount forgiven by an Insured.
- (e) "Insured": the Insured named in Schedule A.
  - (i) The term "Insured" also includes:
    - (A) the owner of the Indebtedness and each successor in ownership of the Indebtedness, whether the owner or successor owns the Indebtedness for its own account or as a trustee or other fiduciary, except a successor who is an obligor under the provisions of Section 12(c) of these Conditions;
    - (B) if the Indebtedness is evidenced by a "transferable record," the person or Entity who has "control" of the "transferable record," as these terms are defined by applicable electronic transactions law;
    - (C) successors to an Insured by dissolution, merger, consolidation, distribution or reorganization;
    - (D) successors to an Insured by its conversion to another kind of Entity;
    - (E) a grantee of an Insured under a deed delivered without payment of actual valuable consideration conveying the Title:
      - (1) If the stock, shares, memberships, or other equity interests of the grantee are wholly-owned by the named Insured,
      - (2) If the grantee wholly owns the named Insured, or

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(3) If the grantee is wholly-owned by an affiliated Entity of the named Insured, provided the affiliated Entity and the named Insured are both wholly-owned by the same person or Entity;

(F) any government agency or instrumentality that is an insurer or guarantor under an insurance contract or guaranty insuring or guaranteeing the Indebtedness secured by the Insured Mortgage, or any part of it, whether named as an Insured or not;

(ii) With regard to (A), (B), (C), (D) and (E) reserving, however, all rights and defenses as to any successor that the Company would have had against any predecessor Insured, unless the successor acquired the Indebtedness as a purchaser for value without Knowledge of the asserted defect, lien, encumbrance or other matter insured against by this policy.

(f) "Insured Claimant": an Insured claiming loss or damage.

(g) "Insured Mortgage": the Mortgage described in paragraph 4 of Schedule A.

(h) "Knowledge" or "Known": actual knowledge, not constructive knowledge or notice that may be imputed to an Insured by reason of the Public Records or any other records that impart constructive notice of matters affecting the Title.

(i) "Land": the land described in Schedule A, and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate or easement in abutting streets, roads, avenues, alleys, lanes, ways or waterways, but this does not modify or limit the extent that a right of access to and from the Land is insured by this policy.

(j) "Mortgage": mortgage, deed of trust, trust deed, or other security instrument, including one evidenced by electronic means authorized by law.

(k) "Public Records": records established under state statutes at Date of Policy for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge. With respect to Covered Risk 5(d), "Public Records" shall also include environmental protection liens filed in the records of the clerk of the United States District Court for the district where the Land is located.

(l) "Title": the estate or interest described in Schedule A.

(m) "Unmarketable Title": Title affected by an alleged or apparent matter that would permit a prospective purchaser or lessee of the Title or lender on the Title or a prospective purchaser of the Insured Mortgage to be released from the obligation to purchase, lease or lend if there is a contractual condition requiring the delivery of marketable title.

## 2. CONTINUATION OF INSURANCE.

The coverage of this policy shall continue in force as of Date of Policy in favor of an Insured after acquisition of the Title by an Insured or after conveyance by an Insured, but only so long as the Insured retains an estate or interest in the Land, or holds an obligation secured by a purchase money Mortgage given by a purchaser from the Insured, or only so long as the Insured shall have liability by reason of warranties in any transfer or conveyance of the Title.

This policy shall not continue in force in favor of any purchaser from the Insured of either (i) an estate or interest in the Land, or (ii) an obligation secured by a purchase money Mortgage given to the Insured.

## 3. NOTICE OF CLAIM TO BE GIVEN BY INSURED CLAIMANT.

The Insured shall notify the Company promptly in writing (i) in case of any litigation as set forth in Section 5(a) below, or (ii) in case Knowledge shall come to an Insured of any claim of title or interest that is adverse to the Title or the lien of the Insured Mortgage, as insured, and that might cause loss or damage for which the Company may be liable by virtue of this policy. If the Company is prejudiced by the failure of the Insured Claimant to provide prompt notice, the Company's liability to the Insured Claimant under the policy shall be reduced to the extent of the prejudice. Subject to the provisions of this policy, upon acquisition of all or any part of the Title pursuant to the provisions of Section 2 of these Conditions, when, after the Date of the Policy, the Insured notifies the Company as required herein of a lien, encumbrance, adverse claim or other defect in Title insured by this policy that is not excluded or excepted from the coverage of this policy, the Company shall promptly investigate the charge to determine whether the lien, encumbrance, adverse claim or defect or other matter is valid and not barred by law or statute. The Company shall notify the Insured in writing, within a reasonable time, of its determination as to the validity or invalidity of the Insured's claim or charge under the policy. If the Company concludes that the lien, encumbrance, adverse claim or defect is not covered by this policy, or was otherwise addressed in the closing of the transaction in connection with which this policy was issued, the Company shall specifically advise the Insured of the reasons for its determination. If the Company concludes that the lien, encumbrance, adverse claim or defect is valid, the Company shall take one of the following actions:

(i) institute the necessary proceedings to clear the lien, encumbrance, adverse claim or defect from the Title as insured;

(ii) indemnify the Insured as provided in this policy;

(iii) upon payment of appropriate premium and charges therefor, issue to the Insured Claimant or to a subsequent owner, mortgagee or holder of the estate or interest in the Land insured by this policy, a policy of title insurance without exception for the lien, encumbrance, adverse claim or defect, said policy to be in an amount equal to the current value of the Land or, if a loan policy, the amount of the loan;

(iv) indemnify another title insurance company in connection with its issuance of a policy(ies) of title insurance without exception for the lien, encumbrance, adverse claim or defect;

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- (v) secure a release or other document discharging the lien, encumbrance, adverse claim or defect; or
- (vi) undertake a combination of (i) through (v) herein.

**4. PROOF OF LOSS.**

In the event the Company is unable to determine the amount of loss or damage, the Company may, at its option, require as a condition of payment that the Insured Claimant furnish a signed proof of loss. The proof of loss must describe the defect, lien, encumbrance or other matter insured against by this policy that constitutes the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage.

**5. DEFENSE AND PROSECUTION OF ACTIONS.**

- (a) Upon written request by the Insured, and subject to the options contained in Sections 3 and 7 of these Conditions, the Company, at its own cost and without unreasonable delay, shall provide for the defense of an Insured in litigation in which any third party asserts a claim covered by this policy adverse to the Insured. This obligation is limited to only those stated causes of action alleging matters insured against by this policy. The Company shall have the right to select counsel of its choice (subject to the right of the Insured to object for reasonable cause) to represent the Insured as to those stated causes of action. It shall not be liable for and will not pay the fees of any other counsel. The Company will not pay any fees, costs or expenses incurred by the Insured in the defense of those causes of action that allege matters not insured against by this policy.
- (b) The Company shall have the right, in addition to the options contained in Sections 3 and 7, at its own cost, to institute and prosecute any action or proceeding or to do any other act that in its opinion may be necessary or desirable to establish the Title or the lien of the Insured Mortgage, as insured, or to prevent or reduce loss or damage to the Insured. The Company may take any appropriate action under the terms of this policy, whether or not it shall be liable to the Insured. The exercise of these rights shall not be an admission of liability or waiver of any provision of this policy. If the Company exercises its rights under this subsection, it must do so diligently.
- (c) Whenever the Company brings an action or asserts a defense as required or permitted by this policy, the Company may pursue the litigation to a final determination by a court of competent jurisdiction and it expressly reserves the right, in its sole discretion, to appeal from any adverse judgment or order.

**6. DUTY OF INSURED CLAIMANT TO COOPERATE.**

- (a) In all cases where this policy permits or requires the Company to prosecute or provide for the defense of any action or proceeding and any appeals, the Insured shall secure to the Company the right to so prosecute or provide defense in the action or proceeding, including the right to use, at its option, the name of the Insured for this purpose. Whenever requested by the Company, the Insured, at the Company's expense, shall give the Company all reasonable aid
  - (i) in securing evidence, obtaining witnesses, prosecuting or defending the action or proceeding, or effecting settlement, and
  - (ii) in any other lawful act that in the opinion of the Company may be necessary or desirable to establish the Title, the lien of the Insured Mortgage, or any other matter as insured. If the Company is prejudiced by the failure of the Insured to furnish the required cooperation, the Company's obligations to the Insured under the policy shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation, with regard to the matter or matters requiring such cooperation.
- (b) The Company may reasonably require the Insured Claimant to submit to examination under oath by any authorized representative of the Company and to produce for examination, inspection and copying, at such reasonable times and places as may be designated by the authorized representative of the Company, all records, in whatever medium maintained, including books, ledgers, checks, memoranda, correspondence, reports, e-mails, disks, tapes, and videos whether bearing a date before or after Date of Policy, that reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the Insured Claimant shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect and copy all of these records in the custody or control of a third party that reasonably pertain to the loss or damage. All information designated as confidential by the Insured Claimant provided to the Company pursuant to this Section shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of the Insured Claimant to submit for examination under oath, produce any reasonably requested information or grant permission to secure reasonably necessary information from third parties as required in this subsection, unless prohibited by law or governmental regulation, shall terminate any liability of the Company under this policy as to that claim.

**7. OPTIONS TO PAY OR OTHERWISE SETTLE CLAIMS; TERMINATION OF LIABILITY.**

In case of a claim under this policy, the Company shall have the following additional options:

- (a) To Pay or Tender Payment of the Amount of Insurance or to Purchase the Indebtedness.
  - (i) to pay or tender payment of the Amount of Insurance under this policy together with any costs, attorneys' fees and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment or tender of payment and that the Company is obligated to pay; or
  - (ii) to purchase the Indebtedness for the amount of the Indebtedness on the date of purchase, together with any costs, attorneys' fees and expenses incurred by the Insured Claimant that were authorized by the Company

up to the time of purchase and that the Company is obligated to pay. When the Company purchases the Indebtedness, the Insured shall transfer, assign, and convey to the Company the Indebtedness and the Insured Mortgage, together with any collateral security. Upon the exercise by the Company of either of the options provided for in subsections (a)(i) or (ii), all liability and obligations of the Company to the Insured under this policy, other than to make the payment required in those subsections, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

- (b) To Pay or Otherwise Settle With Parties Other than the Insured or With the Insured Claimant.
  - (i) to pay or otherwise settle with other parties for or in the name of an Insured Claimant any claim insured against under this policy. In addition, the Company will pay any costs, attorneys' fees and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay; or
  - (ii) to pay or otherwise settle with the Insured Claimant the loss or damage provided for under this policy, together with any costs, attorneys' fees and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay. Upon the exercise by the Company of either of the options provided for in subsections (b)(i) or (ii), the Company's obligations to the Insured under this policy for the claimed loss or damage, other than the payments required to be made, shall terminate, including any liability or obligation to defend, prosecute or continue any litigation.

**8. DETERMINATION AND EXTENT OF LIABILITY.**

This policy is a contract of indemnity against actual monetary loss or damage sustained or incurred by the Insured Claimant who has suffered loss or damage by reason of matters insured against by this policy.

- (a) The extent of liability of the Company for loss or damage under this policy shall not exceed the least of:
  - (i) the Amount of Insurance;
  - (ii) the Indebtedness;
  - (iii) the difference between the value of the Title as insured and the value of the Title subject to the risk insured against by this policy; or
  - (iv) if a government agency or instrumentality is the Insured Claimant, the amount it paid in the acquisition of the Title or the Insured Mortgage in satisfaction of its insurance contract or guaranty.
- (b) If the Company pursues its rights under Section 3 or 5 and is unsuccessful in establishing the Title or the lien of the Insured Mortgage, as insured,
  - (i) the Amount of Insurance shall be increased by 10%, and
  - (ii) the Insured Claimant shall have the right to have the loss or damage determined either as of the date the claim was made by the Insured Claimant or as of the date it is settled and paid.
- (c) In the event the Insured has acquired the Title in the manner described in Section 2 of these Conditions or has conveyed the Title, then the extent of liability of the Company shall continue as set forth in Section 8(a) of these Conditions.
- (d) In addition to the extent of liability under (a), (b) and (c), the Company will also pay those costs, attorneys' fees and expenses incurred in accordance with Sections 5 and 7 of these Conditions.

**9. LIMITATION OF LIABILITY.**

- (a) If the Company establishes the Title, or removes the alleged defect, lien or encumbrance, or cures the lack of a right of access to or from the Land, or establishes the lien of the Insured Mortgage, all as insured, or takes action in accordance with Section 3 or 7, in a reasonably diligent manner by any method, including litigation and the completion of any appeals, it shall have fully performed its obligations with respect to that matter and shall not be liable for any loss or damage caused to the Insured.
- (b) In the event of any litigation, including litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals, adverse to the Title or to the lien of the Insured Mortgage, as insured.
- (c) The Company shall not be liable for loss or damage to the Insured for liability voluntarily assumed by the Insured in settling any claim or suit without the prior written consent of the Company.

**10. REDUCTION OF INSURANCE; REDUCTION OR TERMINATION OF LIABILITY.**

- (a) All payments under this policy, except payments made for costs, attorneys' fees and expenses, shall reduce the Amount of Insurance by the amount of the payment. However, any payments made prior to the acquisition of Title as provided in Section 2 of these Conditions shall not reduce the Amount of Insurance afforded under this policy except to the extent that the payments reduce the Indebtedness.
- (b) The voluntary satisfaction or release of the Insured Mortgage shall terminate all liability of the Company except as provided in Section 2 of these Conditions.

**11. PAYMENT OF LOSS.**

When liability and the extent of loss or damage have been definitely fixed in accordance with these Conditions, the payment shall be made within 30 days.

**12. RIGHTS OF RECOVERY UPON PAYMENT OR SETTLEMENT.**

- (a) The Company's Right to Recover.

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Whenever the Company shall have settled and paid a claim under this policy, it shall be subrogated and entitled to the rights of the Insured Claimant in the Title or Insured Mortgage and all other rights and remedies in respect to the claim that the Insured Claimant has against any person or property, to the extent of the amount of any loss, costs, attorneys' fees and expenses paid by the Company. If requested by the Company, the Insured Claimant shall execute documents to evidence the transfer to the Company of these rights and remedies. The Insured Claimant shall permit the Company to sue, compromise or settle in the name of the Insured Claimant and to use the name of the Insured Claimant in any transaction or litigation involving these rights and remedies. If a payment on account of a claim does not fully cover the loss of the Insured Claimant, the Company shall defer the exercise of its right to recover until after the Insured Claimant shall have recovered its loss.

(b) **The Insured's Rights and Limitations.**

(i) The owner of the Indebtedness may release or substitute the personal liability of any debtor or guarantor, extend or otherwise modify the terms of payment, release a portion of the Title from the lien of the Insured Mortgage, or release any collateral security for the Indebtedness, if it does not affect the enforceability or priority of the lien of the Insured Mortgage.

(ii) If the Insured exercises a right provided in (b)(i), but has Knowledge of any claim adverse to the Title or the lien of the Insured Mortgage insured against by this policy, the Company shall be required to pay only that part of any losses insured against by this policy that shall exceed the amount, if any, lost to the Company by reason of the impairment by the Insured Claimant of the Company's right of subrogation.

(c) **The Company's Rights Against Non-insured Obligors.** The Company's right of subrogation includes the Insured's rights against non-insured obligors including the rights of the Insured to indemnities, guaranties, other policies of insurance or bonds, notwithstanding any terms or conditions contained in those instruments that address subrogation rights. The Company's right of subrogation shall not be avoided by acquisition of the Insured Mortgage by an obligor (except an obligor described in Section 1(e)(i)(F) of these Conditions) who acquires the Insured Mortgage as a result of an indemnity, guarantee, other policy of insurance, or bond and the obligor will not be an Insured under this policy.

**13. ARBITRATION.**

Either the Company or the Insured may demand that the claim or controversy shall be submitted to arbitration pursuant to the Title Insurance Arbitration Rules of the American Land Title Association ("Rules"). Except as provided in the Rules, there shall be no joinder or consolidation with claims or controversies of other persons. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the Insured arising out of or relating to this policy, any service in connection with its issuance or the breach of a policy provision, or to any other controversy or claim arising out of the transaction giving rise to this policy. All arbitrable matters when the Amount of Insurance is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Insured, unless the Insured is an individual person (as distinguished from an Entity). All arbitrable matters when the Amount of Insurance is in excess of \$2,000,000 shall be arbitrated only when agreed to by both the Company and the Insured. Arbitration pursuant to this policy and under the Rules shall be binding upon the parties. Judgment upon the award rendered by the Arbitrator(s) may be entered in any court of competent jurisdiction.

**14. LIABILITY LIMITED TO THIS POLICY; POLICY ENTIRE CONTRACT.**

(a) This policy together with all endorsements, if any, attached to it by the Company is the entire policy and contract between the Insured and the Company. In interpreting any provision of this policy, this policy shall be construed as a whole.

(b) Any claim of loss or damage that arises out of the status of the Title or lien of the Insured Mortgage or by any action asserting such claim, shall be restricted to this policy.

(c) Any amendment of or endorsement to this policy must be in writing and authenticated by an authorized person, or expressly incorporated by Schedule A of this policy.

(d) Each endorsement to this policy issued at any time is made a part of this policy and is subject to all of its terms and provisions. Except as the endorsement expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsement, (iii) extend the Date of Policy or (iv) increase the Amount of Insurance. Each Commitment, endorsement or other form, or provision in the Schedules to this policy that refers to a term defined in Section 1 of the Conditions shall be deemed to refer to the term regardless of whether the term is capitalized in the Commitment, endorsement or other form, or Schedule. Each Commitment, endorsement or other form, or provision in the Schedules that refers to the Conditions and Stipulations shall be deemed to refer to the Conditions of this policy.

**15. SEVERABILITY.**

In the event any provision of this policy, in whole or in part, is held invalid or unenforceable under applicable law, the policy shall be deemed not to include that provision or such part held to be invalid and all other provisions shall remain in full force and effect.

**16. CHOICE OF LAW; FORUM.**

(a) **Choice of Law:** The Insured acknowledges the Company has underwritten the risks covered by this policy and determined the premium charged therefor in reliance upon the law affecting interests in real property and applicable to the interpretation, rights, remedies or enforcement of policies of title insurance of the jurisdiction

where the Land is located. Therefore, the court or an arbitrator shall apply the law of the jurisdiction where the Land is located to determine the validity of claims against the Title or the lien of the Insured Mortgage that are adverse to the Insured, and in interpreting and enforcing the terms of this policy. In neither case shall the court or arbitrator apply its conflicts of laws principles to determine the applicable law.

(b) Choice of Forum: Any litigation or other proceeding brought by the Insured against the Company must be filed only in a state or federal court within the United States of America or its territories having appropriate jurisdiction.

**17. NOTICES, WHERE SENT.** Any notice of claim and any other notice or statement in writing required to be given the Company under this Policy must be given to the Company at 8111 LBJ Freeway, Suite 1200, Dallas, Texas, 75251.

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File No.: 2771021-03213 Loan No.: A2021072821787	Policy No.: 117-L-2771021-03213	County: 201	Policy Amount: \$441,600.00
Policy Premium: \$100.00	Endorsement Premium: \$226.60	Rate Rules: R-5,R-24,R-11k, R-29A,R-19,R-11g, R-11d	Statistical Codes: 3210,0710,0884, 0885,0700,0810, 0140

**Title Resources Guaranty Company**  
**LOAN POLICY OF TITLE INSURANCE (T-2)**  
**SCHEDULE A**

Name and Address of Title Insurance Company:  
Title Resources Guaranty Company  
8111 LBJ Freeway, Suite 1200  
Dallas, TX 75251

**File No. 2771021-03213**

**Policy No. 117-L-2771021-03213**

Address for Reference only: 1214 Campbell Road, Houston, TX 77055

Amount of Insurance \$441,600.00

Premium \$326.60

Date of Policy: 09/29/2021

1. Name of Insured:

BancorpSouth Bank, and each successor in ownership of the indebtedness secured by the insured mortgage except a successor who is an obligor under the provisions of Section 12(c) of the Conditions.

2. The estate or interest in the land that is insured as encumbered by the insured mortgage is:

Fee Simple

3. Title is insured as vested in:

Christopher Brian Craft and Ana Maria Craft

4. The Insured Mortgage, and its assignments, if any, are described as follows:

Deed of Trust dated September 24, 2021, filed for record in the Office of the County Clerk of Harris County, Texas, on September 29, 2021, under County Clerk's File No. RP-2021-557453, from Christopher Brian Craft, spouse of Ana Maria Craft and Ana Maria Craft, spouse of Christopher Brian Craft to Jimmy Habern, Trustee(s), securing the payment of one note of even date therewith in the principal amount of \$441,600.00, payable as therein provided to the order of BancorpSouth Bank.





114884 1124101 1040601 1001 0710

- C. An easement ten (10) feet in width along the south property line for use of public utilities, together with an unobstructed aerial easement adjoining thereto, being five (5) feet wide from a plane twenty (20) feet above the ground upwards, as shown per the recorded Plat thereof.
- D. A building set back line twenty-five (25) feet in width across the front property line of subject property as shown per the recorded Plat thereof.
- E. A building set back line five (5) feet in width along the side property line(s), ten (10) feet in width along the rear property line and ten (10) feet for corner Lots, as set forth by instrument filed for record in Volume 2411, Page 364 of the Deed Records of Harris County, Texas.
- F. Subject to the following item(s) as shown per survey prepared by Stephen Rodriguez, R.P.L.S. No. 5325, dated June 2, 2003;

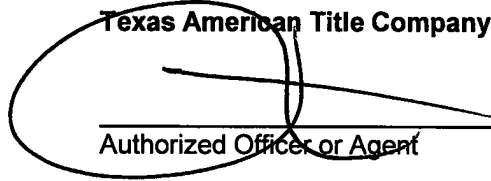
Rights or claims, if any of fence(s) traversing the utility easement(s).

"If the Endorsement T-19 is purchased, this exception is automatically deleted from the loan policy only."

An encroachment created by covered area into the 10 foot utility easement along the south property line.

"If the Endorsement T-19 is purchased, this exception is automatically deleted."

**Texas American Title Company**

  
\_\_\_\_\_  
Authorized Officer or Agent



# TITLE RESOURCES

## IMPORTANT NOTICE

To obtain information or make a complaint:

You may call Title Resources Guaranty Company's toll-free telephone number for information or to make a complaint at:

**1-800-526-8018**

You may also write to Title Resources Guaranty Company at:

Attention: Claims Department  
8111 LBJ Freeway, Suite 1200  
Dallas, TX 75251

You may contact the Texas Department of Insurance to obtain information on companies, coverages, rights, or complaints at:

**1-800-252-3439**

You may write the Texas Department of Insurance:

P. O. Box 149104  
Austin, TX 78714-9104  
Fax: (512) 490-1007  
Web: [www.tdi.texas.gov](http://www.tdi.texas.gov)  
E-mail: [ConsumerProtection@tdi.texas.gov](mailto:ConsumerProtection@tdi.texas.gov)

### **PREMIUM OR CLAIM DISPUTES:**

Should you have a dispute concerning your premium or about a claim, you should contact the company first. If the dispute is not resolved, you may contact the Texas Department of Insurance.

### **ATTACH THIS NOTICE TO YOUR POLICY:**

This notice is for information only and does not become a part or condition of the attached document.

## AVISO IMPORTANTE

Para obtener información o para presentar una queja:

Usted puede llamar al número de teléfono gratuito de Title Resources Guaranty Company's para obtener información o para presentar una queja al:

**1-800-526-8018**

Usted también puede escribir a Title Resources Guaranty Company:

Attention: Claims Department  
8111 LBJ Freeway, Suite 1200  
Dallas, TX 75251

Usted puede comunicarse con el Departamento de Seguros de Texas para obtener información sobre compañías, coberturas, derechos, o quejas al:

**1-800-252-3439**

Usted puede escribir al Departamento de Seguros de Texas a:

P. O. Box 149104  
Austin, TX 78714-9104  
Fax: (512) 490-1007  
Web: [www.tdi.texas.gov](http://www.tdi.texas.gov)  
E-mail: [ConsumerProtection@tdi.texas.gov](mailto:ConsumerProtection@tdi.texas.gov)

### **DISPUTAS POR PRIMAS DE SEGUROS O RECLAMACIONES:**

Si tiene una disputa relacionada con su prima de seguro o con una reclamación, usted debe comunicarse con la compañía primero. Si la disputa no es resuelta, usted puede comunicarse con el Departamento de Seguros de Texas.

### **ADJUNTE ESTE AVISO A SU PÓLIZA:**

Este aviso es solamente para propósitos informativos y no se convierte en parte o en condición del documento adjunto.

2004-10-14 10:41:11 AM

**DIVIDER PAGE**

11:01.05 - PERMITTED LOCATIONS:

The overall intent of this section is to allow property owners to fence or wall their properties from and including the front building line to and around the back yard. Fences may be constructed along rear and side property lines and terminate with front lot fences into the side of primary structure. Side lot fences may extend up to a point as close to the front property setback line as the front foundation line of either the associated or neighboring primary structure. For sake of clarification, minor extensions of a primary structure, such as porches, steps or other appendages, are not included in establishing the front foundation line. Front lot fences of a property may not extend beyond its front building foundation line or extend across the front of the primary structure. Additionally, if a lot has no structure, then a front lot fence with a maximum height of six feet (6') may be constructed parallel to a line as close to the front property setback line as the front foundation of the neighboring primary structure on either side. No fence, even if allowed by exception, shall be located in the sight triangle as defined by Section 12:02 of Code of Ordinances.

Exceptions. The following exceptions to the permitted locations of fences shall apply:

(1) A front lot fence may be located in front of a portion of the primary structure so long as the portion of the primary structure in question is located a distance equal to fifty-percent (50%) or more of the overall depth of the structure measured from the front foundation line and the length of the fence located in front of the primary structure is no more than twenty-five percent (25%) of the length of the front of the primary structure.

(2) A fence shall be permitted along or behind the front building line, regardless of where the primary structure is located on the lot if:

- a. The fence is used for the purpose of enclosing a driveway; and
- b. The portion of the fence that faces the front building line is twenty-four feet (24') or less in length.

(Ordinance 2006-29 adopted 11-14-06; Ordinance 2016-11 adopted 9-20-16)

**DIVIDER PAGE**



EST. 1955

**SPRING VALLEY**  
V I L L A G E

October 20, 2022

Dear Property Owner:

**Notice Is Hereby Given To Hear Comments And Testimony Regarding The Following Proposed Variance:**

A Request from Christopher Brian Craft for a variance from Chapter 12 of the City of Spring Valley Village's Code of Ordinances, Planning and Zoning, Subsection 11:01.05, Permitted Locations, of Section 11, Supplemental District Regulations, to allow the construction of an 8 Foot Fence along the Front Property Line, for the Property Located at 1214 Campbell Road, in the City of Spring Valley Village, Texas.

The **Board of Adjustments** of the City of Spring Valley Village will hold a public hearing regarding this request to provide all interested parties the right to appear and request information on:

**Date:** Wednesday, November 16, 2022

**Time:** 6:00 p.m.

**Location:** Council Chambers of Spring Valley Village City Hall, 1025 Campbell Road

This notice is being sent to you as current property records indicate that you own property in close proximity to 8836 Larston Street. All interested parties are invited to attend both public hearings and will have the opportunity to be heard. For further information, please contact me at (832) 910-8577 or [zmeadows@springvalleytx.com](mailto:zmeadows@springvalleytx.com).

Sincerely,

A handwritten signature in blue ink, appearing to read 'Zachary Meadows', is written over the typed name and title.

Zachary Meadows  
Director of Community Development

Marilynne and Fred L Gorman  
7 Village Oaks Ln.  
Houston, TX 77055

Raymond J. & Ashley W. Sinkiewicz  
2 Village Oaks Ln.  
Houston, TX 77055

Marian Powell Harrison  
6 Village Oaks Ln.  
Houston, TX 77055

Sean M. & Kristi Lehane  
4 Village Oaks Ln.  
Houston, TX 77055

Jason Arnold Consoli  
8 Village Oaks Ln.  
Houston, TX 77055

Current Owner  
1217 Tamy Ln.  
Houston, TX 77055

Randal Matthew Camarillo  
3 Village Oaks Ln.  
Houston, TX 77055

Spring Branch Presbyterian  
1215 Campbell Rd.  
Houston, TX 77055

Barry A Chaloupka  
1218 Campbell Rd.  
Houston, TX 77055

Andrea N Garcia-Ahmed  
9035 Elizabeth Rd.  
Houston, TX 77055

Christopher Brian Craft  
1214 Campbell Rd.  
Houston, TX 77055

Christopher B. & Ana Maria Craft  
1213 Tamy Ln.  
Houston, TX 77055

Lisa L. Keeter  
9031 Elizabeth Rd.  
Houston, TX 77055

**DIVIDER PAGE**



### RESIDENTIAL ZONING CHANGE NOTIFICATION SIGN CRITERIA

A zoning sign is a sign erected on property for which a zoning case has been filed with the City, including, but not limited to, zoning changes, Specific Use Permits, Variances, or Special Exceptions. **The number of signs and the placement of signs shall be determined by the Building Official at the time of submittal.** It is the responsibility of the owner/project representative to contact the Building Department to verify the number and location of signs needed.

Residential property owners/applicants need to contact the City Secretary to schedule pick up and drop off times for the signs.

**IF YOU HAVE ANY QUESTIONS, PLEASE CALL (713) 465-8308.**

#### **ADHERE TO THE FOLLOWING INSTRUCTIONS:**

##### PLACEMENT

- One (1) sign shall be erected by the applicant adjacent to each street frontage on the property that is the subject of the application and for each two hundred feet (200') of frontage along a street with a maximum of three (3) signs required per street frontage.
- Signs shall be placed in a location on private property and clearly visible from all streets adjacent to the property included in the application.
- Where land does not have frontage on a public street, signs shall be posted on the nearest public street with a notation indicating the location of the land subject to the application.
- Signs shall be no greater than twenty (20) feet from the property line and shall be a minimum of two (2) feet off the ground, unless otherwise directed by the Building Official or his/her designee.
- Signs shall be placed perpendicular to the roadway to ensure they are readable from both sides

- Signs shall be located so that the lettering is visible and may be clearly read from the street.

##### PROOF OF POSTING

- **The applicant shall erect the sign(s) on the property that is the subject of the application a minimum of seven (7) calendar days immediately preceding the date of the public hearing before the Board of Adjustments)**
- The applicant is responsible for maintaining the sign(s) on the property throughout the review process.
- A minimum of seven (7) calendar days prior to the public hearing, the applicant shall file an affidavit, on a form provided by the City, with the Building Official verifying that the sign(s) was posted as required, and return them to the City Hall.

##### REMOVAL OF SIGNS

- **The applicant shall be responsible for removing the sign(s) from the property within seven (7) calendar days of the final action on the application by the Board**

Preparer's Name:       Brian Craft      

Preparer's Signature:       [Signature]      

**NOTE: Violations of the sign ordinance will result in fines to the property owner and will delay the request for Zoning or Specific Use Permit. Failure to remove zoning signs per the sign ordinance will result in a citation of \$500 per sign per day until removed.**

030  
NOV 19 2019  
NOV 22



(Re)Zoning Case No. VAR-2022-03

Date of Board of Adjustment Meeting: 11-16-2022

In accordance with the requirements of Section 01:03:02 of Exhibit 'A' of Chapter 12 of the Code of Ordinances of the City of Spring Valley Village, Texas, I Brian Craft hereby certify that Zoning Change Notification sign(s) have been maintained on the property subject to zoning change, located at 1214 Campbell Rd  
Houston, TX 77055

I further certify that this affidavit was filed with the Building Department of the City on date 11-3-2022 within the time provisions of Section 01:03:02 of Exhibit 'A' of Chapter 12 of the Code of Ordinances of the City of Spring Valley Village.

I understand that I am required to remove said signs within seven (7) calendar days of any final action on the application taken by the City of Spring Valley Village Board of Adjustment regarding the zoning change.

Executed this date: 11-3-22

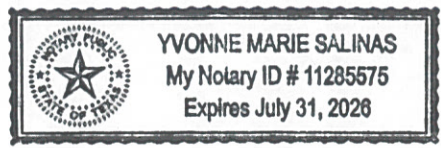
Printed Name of Applicant or Authorized Representative for Zoning Case No. Brian Craft

Signature of Applicant or Authorized Representative for Zoning Case No. [Signature]

Sworn and subscribed before me on this date: November 3, 2022

Notary Public [Signature]

(Seal)



**PLEASE NOTE: Failure to maintain the signs prior to the Board of Adjustment public hearing may result in postponement of consideration if the applicant has not attempted to replace damaged or missing signs upon notification by Staff.**

**FOR STAFF USE ONLY:**

Date/Time submitted: Nov 3, 2022 3:19pm Verified by: Zach Meadows

RCUD  
PM 3:19  
2022/11/03



**AFFIDAVIT OF SIGN POSTING**

(Re)Zoning Case No. VAR-2022-03

Date of Board of Adjustment Meeting: 11-16-2022

In accordance with the requirements of Section 01:03:02 of Exhibit 'A' of Chapter 12 of the Code of Ordinances of the City of Spring Valley Village, Texas, I Brian Craft hereby certify that I have posted or caused to be posted Zoning Change Notification sign(s) on the property subject to zoning change, located at

1214 Campbell Road

Houston TX 77055

Posting of said signs was accomplished on 11-3-2022 as provided for in Section 01:03:02 of Exhibit 'A' of Chapter 12 of the Code of Ordinances of the City of Spring Valley Village. Said signs have been posted in a manner which provides an unobstructed view and which allows clear reading from the public right(s)-of-way along Campbell Road

I further certify that this affidavit was filed with the Building Department of the City of Spring Valley Village within the time provisions of Section 01:03:02 of Exhibit 'A' of Chapter 12 of the Code of Ordinances of the City of Spring Valley Village.

Executed this date: 11-3-22

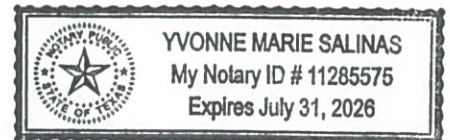
Printed Name of Applicant or Authorized Representative for Zoning Case No. Brian Craft

Signature of Applicant or Authorized Representative for Zoning Case No. [Signature]

Sworn and subscribed before me on this date: November 3, 2022

Notary Public Yvonne Marie Salinas

(Seal)



**PLEASE NOTE: Failure to post the notification sign(s) on the property by the close of business (4:30 pm) seven (7) days prior to the Board of Adjustment public hearing shall result in the postponement of consideration by the Board.**

**STAFF USE ONLY:**

Date/Time submitted: Nov 3, 2022 3:19pm Verified by: Zach Meadows

RCVD  
11/3/22  
3:19 PM

**AFFIDAVIT OF SIGN MAINTENANCE**

**Spring Valley Village Board of Adjustment  
Agenda Item Data Sheet**

**MEETING DATE:** November 16, 2022

**TOPIC:** **CONSIDERATION AND POSSIBLE ACTION CONCERNING:** A Request from Christopher Brian Craft for a variance from Chapter 12 of the City of Spring Valley Village’s Code of Ordinances, Planning and Zoning, Subsection 11:01.05, Permitted Locations, of Section 11, Supplemental District Regulations, to allow the construction of an 8 Foot Fence along the Front Property Line, for the Property Located at 1214 Campbell Road, in the City of Spring Valley Village, Texas.

**BACKGROUND:** In the previous agenda item, the Board of Adjustment held a public hearing concerning a variance request for fence location for the property located at 1214 Campbell Road.

Criteria for Evaluation of Variance Request.

Variations should be granted only in limited instances. Section 211.009 of the Texas Local Government Code provides that a Board of Adjustment may “authorize in specific cases a variance from the terms of the zoning ordinance if:

1. The variance is not contrary to the public interest; and
2. Due to special conditions, a literal enforcement of the ordinance would result in an unnecessary hardship; and
3. So that the spirit of the ordinance is observed and substantial, justice is done.
4. The financial cost of compliance is greater than 50 percent of the appraised value of the structure as shown on the most recent appraisal roll certified to the assessor for the municipality under Section 26.01, Tax Code;
5. Compliance would result in a loss to the lot on which the structure is located of at least 25 percent of the area on which development may physically occur;
6. Compliance would result in the structure not being in compliance with a requirement of a municipal ordinance, building code, or other requirement;
7. Compliance would result in the unreasonable encroachment on an adjacent property or easement; or
8. The municipality considers the structure to be a nonconforming structure.

The “special conditions” and “unnecessary hardship” phrases have been the subject of numerous appellate court decisions.


**Hardship Test:** Does the enforcement of the ordinance destroy **any reasonable use** of his property? (*Reiter v. City of Keene*, 601 S.W.2d 547 (Tex. App. – Waco 1980,

**Spring Valley Village Board of Adjustment  
Agenda Item Data Sheet**

writ dism'd)).  
In other words: "Is the environment such that the lot is not reasonably adapted to a conforming use?" (*Board of Adjustment v. Stovall*, 218 S.W.2d 286 (Tex. Civ. App. – Fort Worth 1949, no writ)).

**RECOMMENDATION:** None

**ATTACHMENTS:** • None

<b>SUBMITTING STAFF MEMBER:</b>  Zachary Meadows, Director of Community Development	<b>CITY ADMINISTRATOR APPROVAL:</b> 
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